



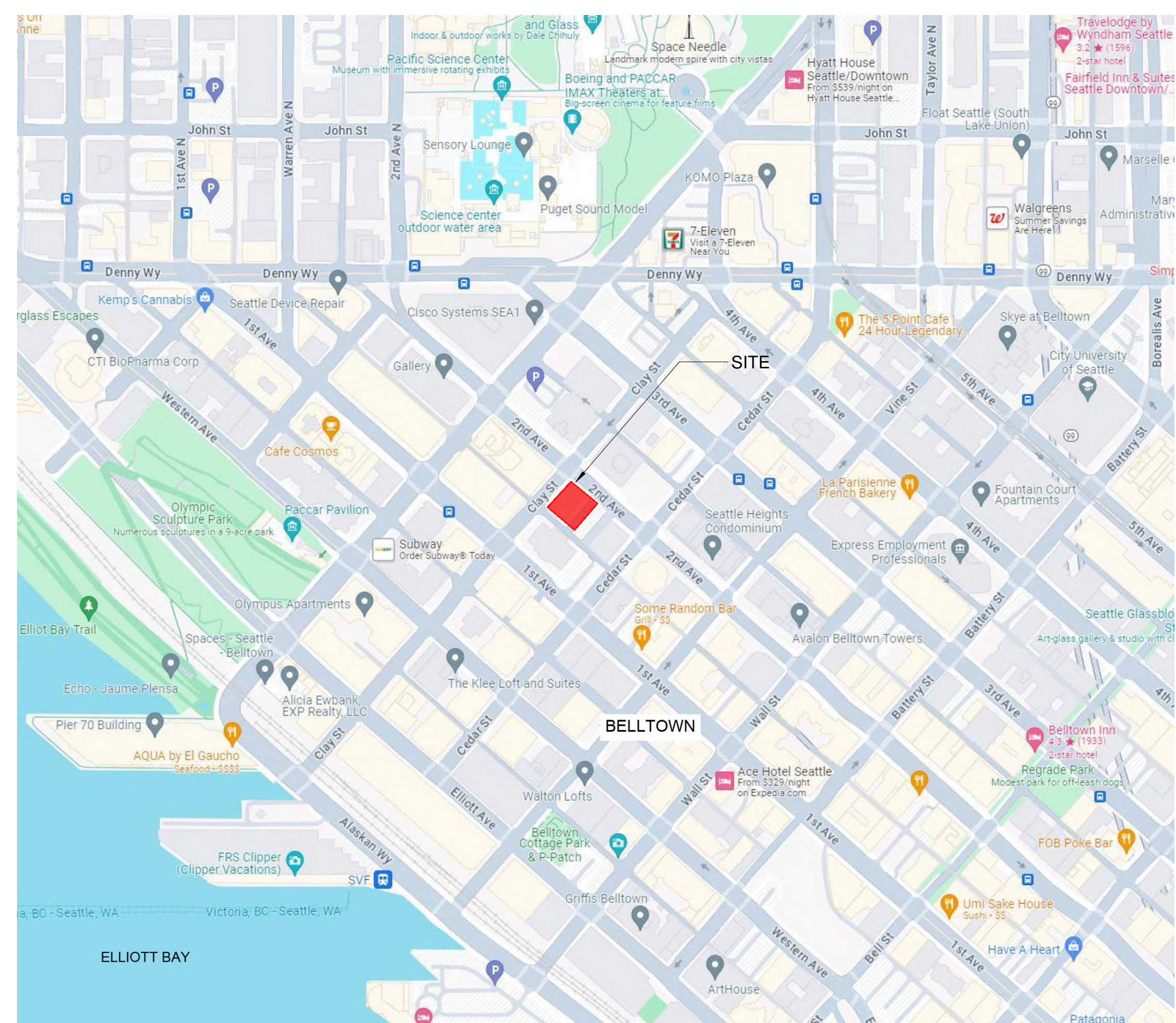






PROJECT ADDRESS:	2729 2ND AVENUE, SEATTLE, WA 98121
PROJECT NAME:	2ND AND CLAY
PROJECT DESCRIPTION:	NEW MIXED USE 15 STORY RESIDENTIAL TOWER CONTAINING 5,279 SF OF RETAIL SPACE, 17 BELOW GRADE PARKING STALLS, 1,538 SF OF AMENITY SPACE AND 131,861 SF OF RESIDENTIAL SPACE INCLUDING 147 CONDOMINIUM UNITS.
APPLICANT:	
NAME:	JODI PATTERSON-O'HARE
ADDRESS:	17479 7TH AVE SW, NORMANDY PARK WA 98166
EMAIL:	JODI@PERMITCONVM.COM
PHONE NUMBER:	425-681-4718
OWNER:	
NAME:	CAVATINA GW SP Z.O.O.
ADDRESS:	WIELICHA 28 3 30-552 KRAKOW, POLAND
EMAIL:	SYMON.BEDKOWSKI@SZCZON.BEDKOWSKI@CAVATINA.PL
PHONE NUMBER:	ANDREW LACH: 708.754.2059
KING COUNTY ASSESSOR'S PARCEL NUMBER (APN):	065430-0065
LEGAL DESCRIPTION:	BELL AND DENNY'S 1ST ADD LESS POR FOR ST

ZONING REQUIREMENTS - TITLE 23 SEATTLE LAND USE CODE			
SECTION	DESCRIPTION	REQUIRED	PROVIDED
	ZONING DISTRICT	ZONE 108 - DOWNTOWN URBAN CENTER - DMV-C 145/75	
	ZONING DESIGNATION	DMV-C - DOWNTOWN MIXED RESIDENTIAL / COMMERCIAL	
	LOT AREA	NO MINIMUM STANDARDS	12,960 SF (0.286 ACRES)
23.49.011	MAXIMUM FLOOR AREA RATIO FOR NON-RESIDENTIAL USES	4.5 x 12,960 SF = 58,320 SF	408 x 12,960 SF = 5,279 SF
23.49.008.C	MAXIMUM BUILDING HEIGHT	145 FT (ONLY RESIDENTIAL MAY EXCEED 75 FT)	145 FT
23.49.008.D.2	ALLOWABLE ROOFTOP FEATURES	15 FT ABOVE HEIGHT LIMIT (MAX 50% OF ROOF AREA)	+ 15 FT 160 FT
	SETBACKS		
23.49.166 TABLE A	SIDE	NONE	3'-1 3/8"
23.49.166.B	CLAY STREET (GREEN STREET)	10' SETBACK FROM 65' TO 85' 1' OF SETBACK FOR EVERY 5' OF HEIGHT ABOVE 85' (10'+12'+22')	23'-11" 23'-11"
23.49.166	2ND AVENUE	NONE	1"
23.53.030.F	ALLEY DEDICATION	2'-0" (HALF THE DISTANCE BETWEEN CURRENT ALLEY RIGHT-OF-WAY WIDTH OF 16'-0" AND MINIMUM RIGHT-OF- WAY WIDTH OF 20'-0")	2'-0" (HALF THE DISTANCE BETWEEN CURRENT ALLEY RIGHT-OF-WAY WIDTH OF 16'-0" AND MINIMUM RIGHT-OF- WAY WIDTH OF 20'-0")
23.49.158 TABLE A	COVERAGE AND FLOOR SIZE LIMITS ELEVATION (IN FEET) 65 OR LESS	100% (12,960 SF)	89%-95% (11,487 SF - 12,248 SF)
	ELEVATION (IN FEET) GREATER THAN 65 UP TO 85	75% (9,720 SF)	65% (8,424 SF)
	ELEVATION (IN FEET) GREATER THAN 85 UP TO 145	65% (8,424 SF)	65% (8,424 SF)
23.49.008.D.2	ELEVATION (IN FEET) GREATER THAN 145	50% (6,480 SF)	22% (2,851 SF)
23.49.019	PARKING REQUIREMENTS: REGULAR PARKING REQUIREMENTS ACCESSIBLE PARKING REQUIREMENTS TOTAL PARKING SPACES	NOT REQUIRED  NOT REQUIRED	8 SPACES AT 7'-6" x 15'-0" 8 SPACES AT 6'-0" x 16'-0" = 16 SPACES AT 9'-0" x 16'-0" 17 SPACES
23.54.015.K TABLE D	BIKE PARKING REQUIREMENTS FOR MULTI-FAMILY STRUCTURES LONG TERM 1 SPACE PER DWELLING UNIT SHORT TERM 1 SPACE PER 20 DWELLING UNITS  BIKE PARKING REQUIREMENTS FOR EATING AND DRINKING ESTABLISHMENTS LONG TERM 1 SPACE PER 5,000 SF SHORT TERM 1 SPACE PER 1,000 SF	147 BIKE STALLS  8 BIKE STALLS  2 BIKE STALLS + 6 BIKE STALLS 163 BIKE STALLS REQUIRED	147 BIKE STALLS  8 BIKE STALLS  2 BIKE STALLS + 6 BIKE STALLS 163 BIKE STALLS PROVIDED
	STRUCTURE WIDTH LEVEL 1-6 LEVEL 7-14  STRUCTURE DEPTH LEVEL 1-6 LEVEL 7-14	ALLOWED  119'-11 3/8" 109'-11 3/8"  106'-0 5/8" 106'-0 5/8"	PROVIDED  116'-8 1/2" 92'-10 7/8"  105'-9" 93'-1 3/4"
23.54.040 TABLE A	SOLID WASTE CONTAINER STORAGE: RESIDENTIAL NON-RESIDENTIAL TOTAL	575 SF 125 SF 700 SF	1,142 SF



VICINITY MAP

[illegible]

Architecture  
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Construction

Chicago  
New York  
Warsaw

600 W. Fulton Street  
Chicago, IL 60661-1259  
T 312.454.9100

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PROJECT NUMBER:	23208
PROJECT MANAGER:	T. RUSSELL
PA \ PE:	S. CYGIELSKI
DRAWN BY:	A. KNIGHTON
CHECKED BY:	J. HEINEY

SDCI APPROVAL

## ZONING ANALYSIS

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*MEP / FP Engineer*

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Owner

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Project

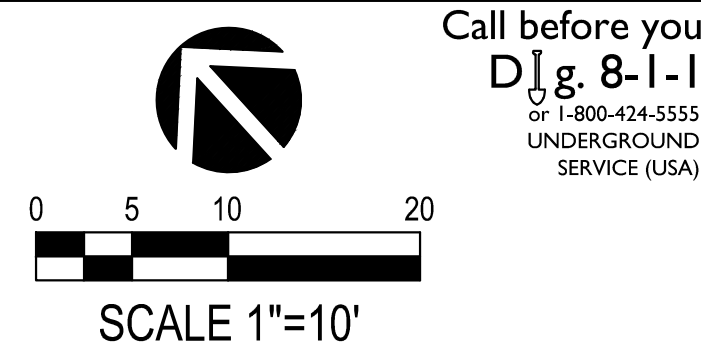
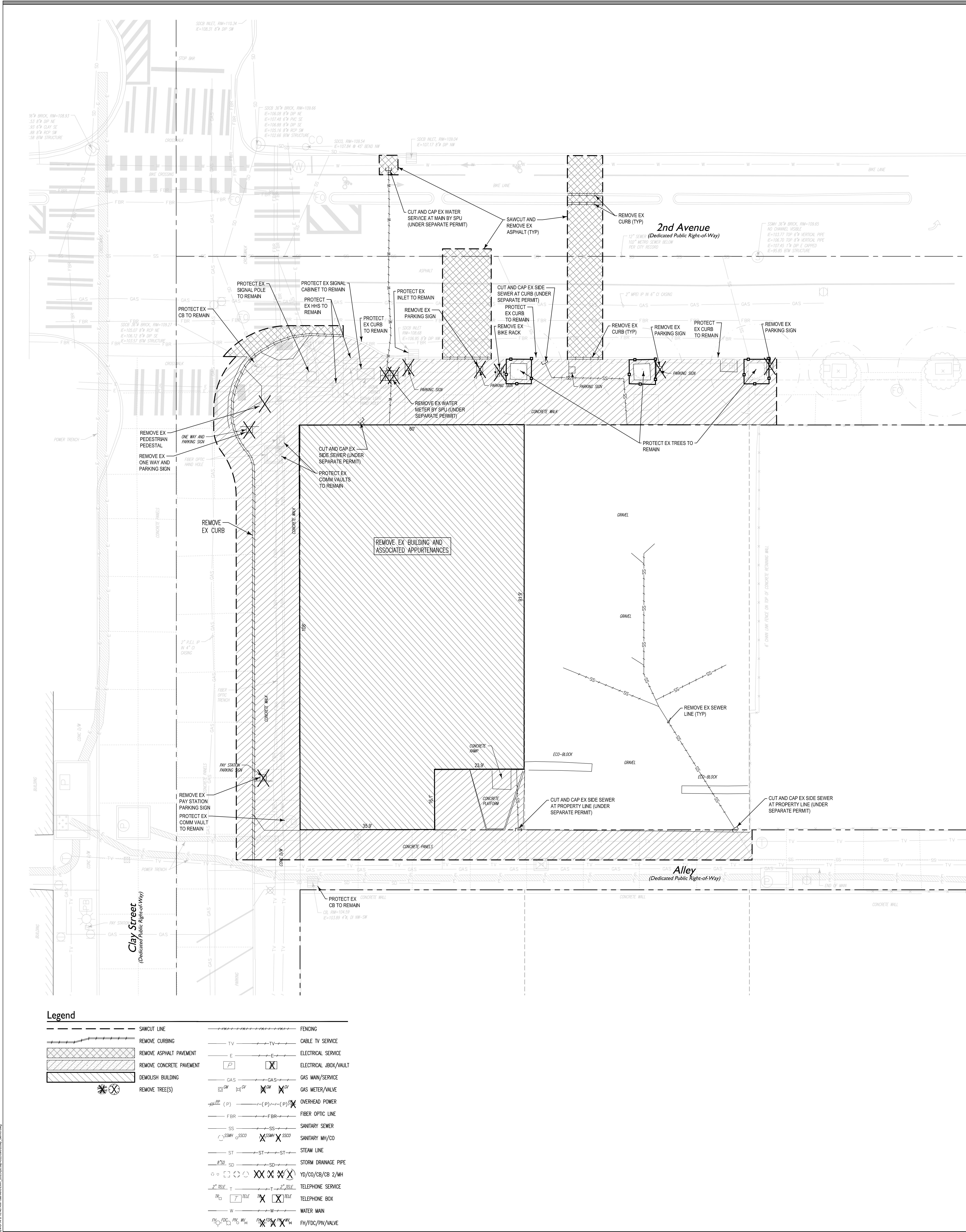
2ND & CLAY  
2729 2nd Avenue  
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SEAL

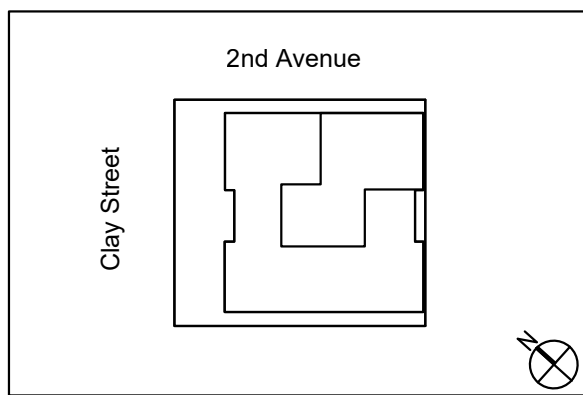




General Demolition Notes

- EXISTING UTILITIES AND UNDERGROUND STRUCTURES SHOWN ON THE PLAN ARE BASED UPON THE BEST AVAILABLE PUBLIC RECORDS AND/OR PRIVATE RECORDS AS SUPPLIED BY THE PROJECT OWNER AND/OR DATA OBTAINED VERBALLY FROM OWNERS OR OFFICIALS ASSOCIATED WITH THE PARTICULAR UTILITY. NEITHER THE OWNER NOR THE ENGINEER GUARANTEES ACCURACY OR COMPLETENESS OF THIS INFORMATION AND ASSUME NO RESPONSIBILITY FOR IMPROPER LOCATIONS ON THE CONSTRUCTION PLANS. OTHER UNDERGROUND FACILITIES NOT SHOWN ON THE DRAWINGS MAY BE ENCOUNTERED DURING THE COURSE OF THE WORK. ALL INVERT ELEVATIONS SHOWN ON THE DRAWINGS SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION.
- IF CHANGED CONDITIONS ARE ENCOUNTERED, THE CONTRACTOR SHALL NOTIFY THE ENGINEER PROMPTLY OF (1) PREEXISTING SUBSURFACE CONDITIONS DIFFERING FROM THOSE INDICATED IN THE PLANS, OR (2) PREEXISTING UNKNOWN SUBSURFACE CONDITIONS, OR AN UNUSUAL NATURE, DIFFERING MATERIALLY FROM THOSE ORIGINALLY ENCOUNTERED AND GENERALLY RECOGNIZED AS INHERENT IN WORK OF THE CHARACTER PROVIDED FOR IN THE CONTRACT. THE CONTRACTOR AND/OR OWNER SHALL MAKE NO CLAIMS TO THE ENGINEER FOR RECOMPENSATION FOR EXTRA WORK RESULTING FROM CHANGED CONDITIONS UNLESS THE ENGINEER HAS APPROVED THE WORK IN WRITING.
- CONTRACTOR SHALL CALL THE UTILITIES UNDERGROUND LOCATION CENTER FOR FIELD LOCATION OF ALL UTILITIES AND SHALL NOT BEGIN EXCAVATION UNTIL ALL KNOWN UNDERGROUND FACILITIES IN THE VICINITY OF THE PROPOSED WORK HAVE BEEN LOCATED AND MARKED. IF THE UTILITY IS NOT A SUBSCRIBER OF THE UNDERGROUND LOCATION CENTER THEN THE CONTRACTOR SHALL GIVE NOTICE TO THAT UTILITY.
- THE CONTRACTOR IS RESPONSIBLE FOR REVIEW OF ALL UTILITY PURVEYOR, AND CITY OR STATE RECORDS RELATIVE TO THE EXISTING UNDERGROUND UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR AVOIDING DAMAGE TO THESE FACILITIES AND SHALL RESTORE ALL UTILITIES AT CONTRACTOR'S OWN EXPENSE.
- VERIFY THAT ALL UTILITY SERVICES TO BE DEMOLISHED HAVE BEEN DISCONNECTED.
- ERECT BARRIERS, SHORING AND THE LIKE TO PROTECT PERSONNEL, CONSTRUCTION AND VEGETATION TO REMAIN. COMPLY WITH ALL STATE AND LOCAL AGENCY REQUIREMENTS.
- DO NOT SHUT OFF OR CAP UTILITIES WITHOUT PRIOR NOTICE. COORDINATE WORK WITH LOCAL UTILITY PURVEYORS.
- MAINTAIN VEHICULAR AND PEDESTRIAN TRAFFIC ROUTES; ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, SIDEWALKS, AND ADJACENT FACILITIES DO NOT CLOSE OR OBSTRUCT STREETS, SIDEWALKS, OR PASSAGEWAYS WITHOUT PERMISSION FROM AUTHORITIES HAVING JURISDICTION. MAINTAIN FIRE ACCESS ALONG ACCESS ROAD AT ALL TIMES. MEET ALL APPLICABLE CODES AND ORDINANCES.
- PROTECT FROM HARM ANY TREES, OR OTHER OBJECTS SELECTED TO REMAIN.
- RESTORE ANY IMPROVEMENTS DAMAGED BY THIS WORK TO THEIR ORIGINAL CONDITION, AS ACCEPTABLE TO OWNER. REPAIR ANY DAMAGE TO ADJACENT STRUCTURES, UTILITIES, SITE, AND WORK OF THIS CONTRACT TO REMAIN AT NO ADDITIONAL COST TO OWNER.
- SPRINKLE DEBRIS AS NECESSARY TO LIMIT DUST TO LOWEST PRACTICABLE LEVEL. DO NOT SPRINKLE TO EXTENT THAT WOULD CAUSE FLOODING, CONTAMINATED RUNOFF, OR ICING.
- REMOVE EXISTING ABOVE-GRADE AND BELOW-GRADE IMPROVEMENTS AS INDICATED AND AS NECESSARY TO FACILITATE NEW CONSTRUCTION. CARE SHALL BE TAKEN THAT DAMAGE DOES NOT OCCUR TO EXISTING PAVEMENT WHICH IS TO REMAIN IN PLACE AND THAT ALL PAVEMENT REMOVALS ARE ACCOMPLISHED BY MAKING A NEAT VERTICAL SAW CUT AT THE BOUNDARIES OF THE AREA TO BE REMOVED.
- THE CONTRACTOR WILL BE RESPONSIBLE FOR FURNISHING, SETTING AND MARKING ALL LINE AND LOCATION STAKES, INCLUDING OFFSETS AND GENERAL CONSTRUCTION STAKING. WHEN WORK REQUIRING CONTROL IS BEING PERFORMED, ALL NECESSARY RELATED EQUIPMENT, SUPPLIES AND INSTRUMENTS SHALL BE ON SITE. A QUALIFIED LAYOUT ENGINEER, SURVEYOR, OR TECHNICAL SPECIALIST MUST BE ASSIGNED TO THE CONTRACTOR'S CREW FOR THIS WORK. THIS EQUIPMENT AND PERSONNEL MUST BE AVAILABLE, AT NO ADDITIONAL COST TO OWNER FOR THE PURPOSE OF VERIFYING LAYOUT AND CERTIFYING THE ACCURACY OF WORK ON THE SITE.
- TRAFFIC: DO NOT OBSTRUCT WALKS OR PUBLIC WAYS WITHOUT THE WRITTEN PERMISSION OF GOVERNING AUTHORITIES AND OF THE OWNER, WHERE ROUTES ARE PERMITTED TO BE CLOSED. PROVIDE ALTERNATE ROUTES IF REQUIRED.
- THE CONTRACTOR IS RESPONSIBLE FOR PRESERVING ALL BENCHMARKS AND STAKES AND THE REPLACEMENT OF ANY THAT ARE DISPLACED OR MISSING.
- THE REFUSE RESULTING FROM CLEARING AND GRUBBING SHALL BE DISPOSED OF BY THE CONTRACTOR IN A MANNER CONSISTENT WITH ALL GOVERNMENT REGULATIONS. IN NO CASE SHALL REFUSE MATERIAL BE LEFT ON THE PROJECT SITE, SHOVED ONTO ADJUTING PRIVATE PROPERTIES, OR BE BURIED IN EMBANKMENTS OR TRENCHES ON THE PROJECT SITE. DEBRIS SHALL NOT BE DEPOSITED IN ANY STREAM OR BODY OF WATER, WETLAND, OR IN ANY STREET OR ALLEY, OR UPON ANY PRIVATE PROPERTY EXCEPT BY WRITTEN CONSENT OF THE PRIVATE PROPERTY OWNER. MAINTAIN HAULING ROUTES CLEAN AND FREE OF ANY DEBRIS RESULTING FROM DEMOLITION WORK ON THIS PROJECT.

- LEGEND:
- EXISTING TO REMAIN
  - PROPOSED WORK
  - NOT IN CONTRACT (N.I.C.), EXISTING BUILDING AREA TO REMAIN



NO.	DATE	REVISIONS/ISSUANCES
1	2024.06.17	MASTER USE PERMIT

Architecture  
Interiors  
Engineering  
Construction

Chicago  
New York  
Warsaw

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PROJECT NUMBER: C23121  
PROJECT MANAGER: AJF  
PA I PE: AJF  
DRAWN BY: PRW  
CHECKED BY: AJF

SDCI APPROVAL

DEMOLITION PLAN



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Owner

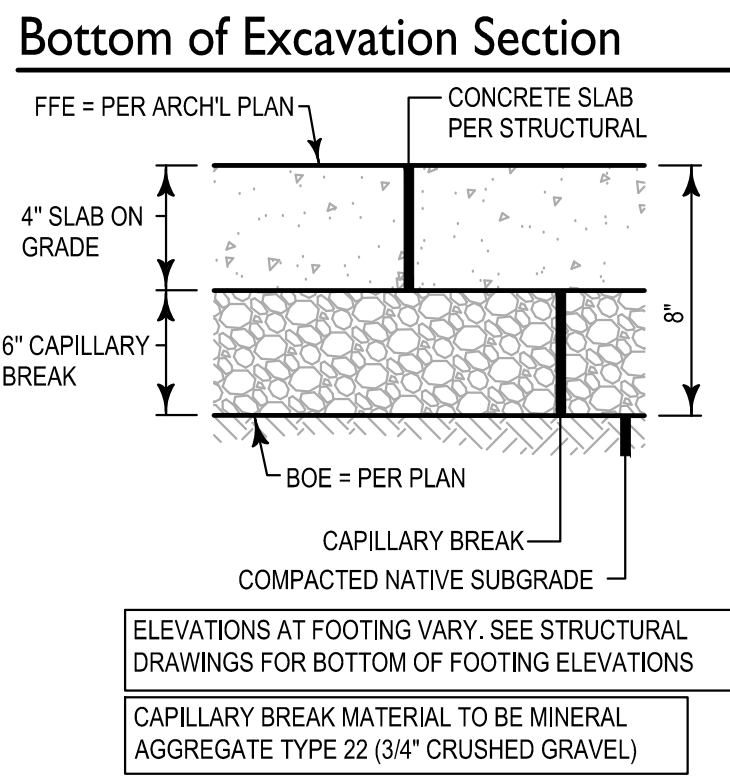
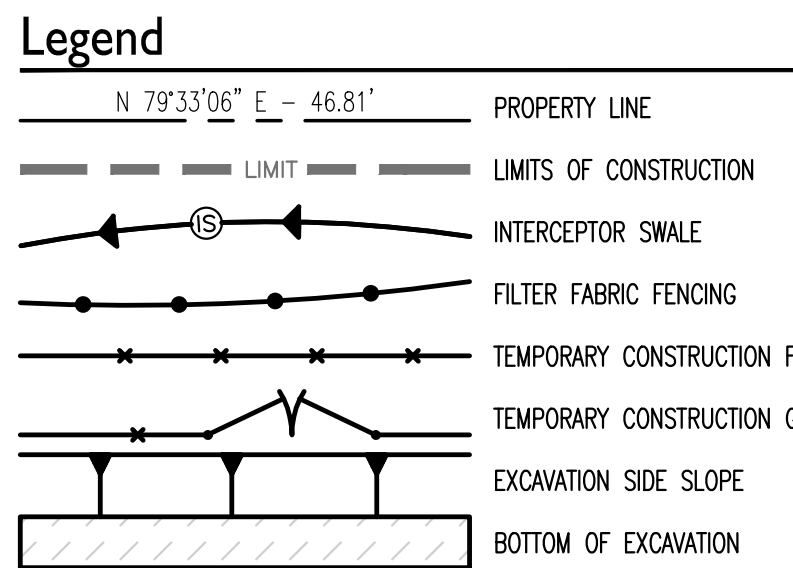
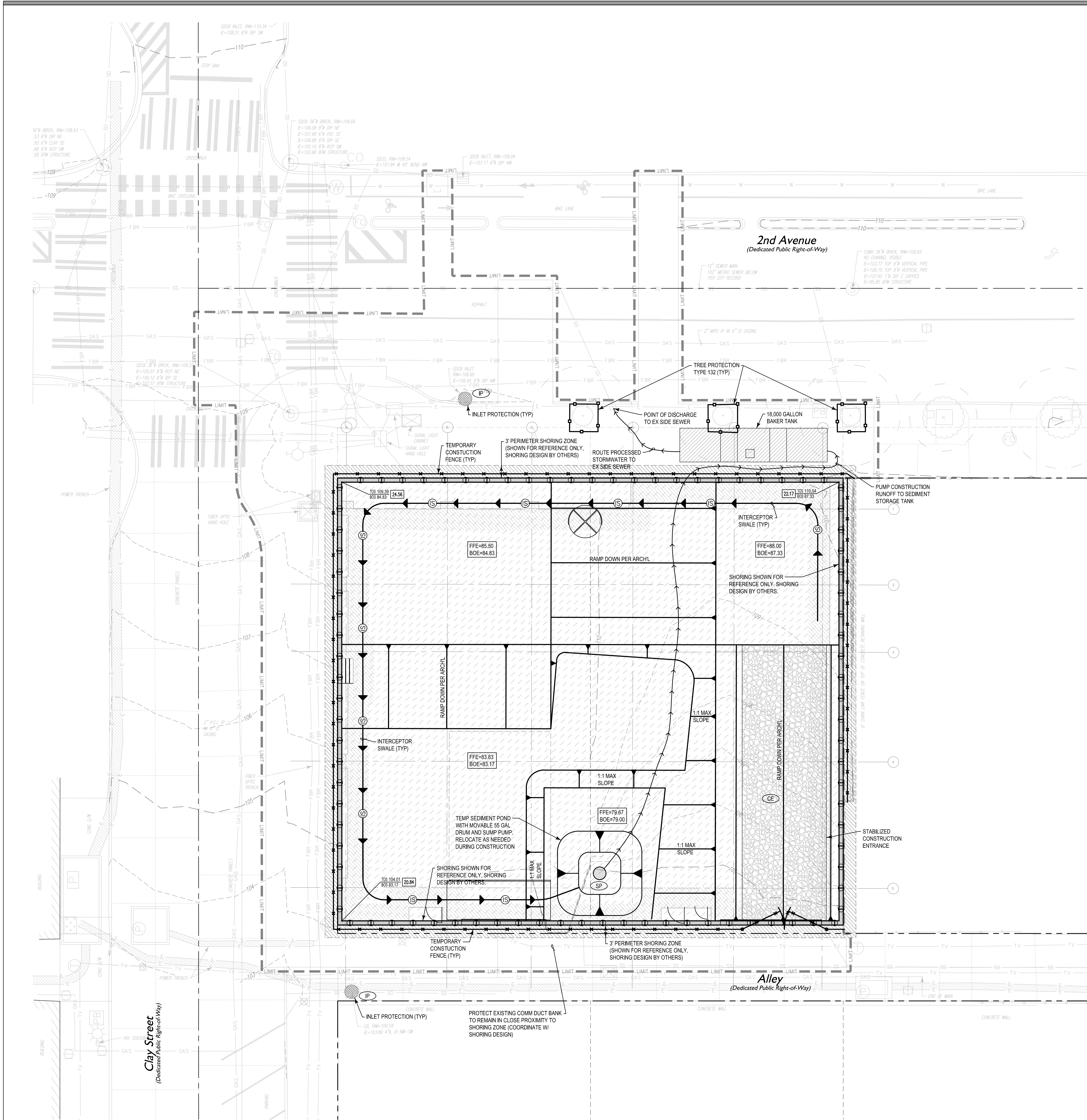
CAVATINA GW SP, Z.O.O.  
30-552 Kraków, Poland

Project

2ND & CLAY  
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Seattle, WA 98121-1207







### Construction Stormwater Control (CSC) General Notes

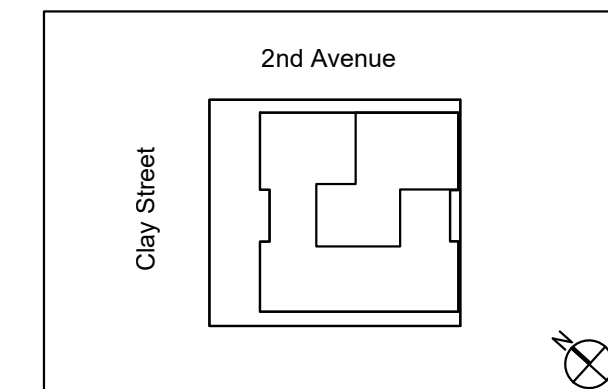
- A FIRST GROUND DISTURBANCE INSPECTION IS REQUIRED PRIOR TO START OF WORK ON ALL SITES WITH LAND DISTURBING ACTIVITY.
- SCHEDULE A FIRST GROUND DISTURBANCE INSPECTION FOR AN ISSUED BUILDING PERMIT AT 206-684-8900 OR ONLINE AT [WWW.SEATTLE.GOV/DPD/PERMITS/INSPECTIONS/](http://WWW.SEATTLE.GOV/DPD/PERMITS/INSPECTIONS/).
- THE APPLICANT SHALL DESIGNATE AN EROSION AND SEDIMENT CONTROL (ESC) SUPERVISOR WHO SHALL BE RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES (BMPs). FOR LARGE CONSTRUCTION PROJECTS, THE ESC SUPERVISOR SHOULD BE A CERTIFIED EROSION AND SEDIMENT CONTROL LEAD (CESSL). PROVIDE THE NAME AND PHONE NUMBER OF THE ESC SUPERVISOR TO THE SITE INSPECTOR AT THE FIRST GROUND DISTURBANCE INSPECTION.
- BMPs SHALL BE INSTALLED PRIOR TO STARTING CONSTRUCTION TO ENSURE SEDIMENT-LOADED WATER DOES NOT LEAVE THE PROJECT SITE OR ENTER ROADSIDE DITCHES, STORM DRAINS, SURFACE WATERS, OR WETLANDS.
- THE BMPs INCLUDED IN THIS PLAN ARE THE MINIMUM REQUIREMENTS FOR ANTICIPATED SITE REQUIREMENTS. THE APPLICANT INCLUDED RESPONSIBLE THAT BMPs ANTICIPATED UNEXPECTED CONDITIONS, OR OTHER UNFORESEEN CIRCUMSTANCES, AND TO ACCOUNT FOR CHANGING SITE CONDITIONS.
- ANY AREAS OF DISTURBED SOIL THAT WILL NOT BE WORKED FOR TWO CONSECUTIVE DAYS DURING THE WET SEASON (OCT 1 TO APRIL 30) OR SEVEN DAYS DURING THE DRY SEASON (MAY 1 TO SEPT 30) SHALL BE IMMEDIATELY STABILIZED WITH APPROVED BMPs METHODS (E.G. STRAW, MULCH, PLASTIC COVERING, COLD MIX, ETC.).
- GRADING AND/OR SOIL DISTURBING ACTIVITIES MAY BE LIMITED OR PROHIBITED FOR CERTAIN SITES SUBJECT TO ECA STANDARDS (I.E. ECA STEEP SLOPES, LANDSLIDE PRONE AREAS, ETC.) BETWEEN OCTOBER 31ST AND APRIL 1ST. IF NOTED IN THE GEOTECHNICAL SPECIAL INSPECTIONS REQUIREMENTS, A GRADING SEASON EXTENSION LETTER (GSEL) ISSUED BY SDG IS REQUIRED FOR ALL GRADING AND/OR SOIL DISTURBING ACTIVITIES DURING THIS PERIOD. THE GEOTECHNICAL SPECIAL INSPECTOR MUST SUBMIT ELECTRONIC APPLICATIONS FOR A GSEL USING THE SDG PROJECT PORTAL. ALLOW FOUR TO SIX WEEKS FOR PROCESSING. FAILURE TO OBTAIN THE GSEL PRIOR TO OCTOBER 31 MAY RESULT IN A WORK STOPPAGE.
- CITY STREETS AND SIDEWALKS SHALL BE KEPT CLEAN AT ALL TIMES. NO MATERIAL SHALL BE STORED ON CITY STREETS OR SIDEWALKS WITHOUT A STREET USE PERMIT FROM THE SEATTLE DEPARTMENT OF TRANSPORTATION (SDOT).
- POLLUTION CONTROL MEASURES SHALL BE FOLLOWED TO ENSURE LIQUID PRODUCTS CONTAMINATED WATER ENTERS ANY STORM DRAINAGE FACILITIES OR OTHERWISE LEAVES THE PROJECT SITE. ANY HAZARDOUS MATERIALS OR LIQUID PRODUCTS THAT HAVE THE POTENTIAL TO POLLUTE RUNOFF SHALL BE STORED AND DISPOSED OF PROPERLY.
- ENSURE THAT WASHOUT FROM CONCRETE TRUCKS IS PERFORMED OFF-SITE OR IN DESIGNATED CONCRETE WASHOUT AREAS ONLY. DO NOT WASH OUT CONCRETE TRUCKS ONTO THE GROUND, OR TO STORM DRAINS OR OPEN DITCHES. DO NOT DUMP EXCESS CONCRETE GROUT, EXCEPT IN DESIGNATED CONCRETE WASHOUT AREAS.
- ALL AREAS OF DISTURBED SOIL SHALL BE FULLY STABILIZED WITH THE APPROPRIATE SOIL AMENDMENT AND COVER MEASURES AT COMPLETION OF THE PROJECT. TYPICAL COVER MEASURES INCLUDE LANDSCAPING OR HYDROSEED WITH MULCH.

### Erosion and Sediment Control Notes

- NONCOMPLIANCE WITH THE EROSION CONTROL REQUIREMENTS, WATER QUALITY REQUIREMENTS, AND CLEAR LIMITS VIOLATIONS MAY RESULT IN REVOCATION OF PROJECT PERMITS, PLAN APPROVAL, AND BOND FORECLOSURES.
- PRIOR TO ANY WORK, THE CONTRACTOR SHALL CONTACT THE CITY OF SEATTLE TO SCHEDULE A PRECONSTRUCTION MEETING.
- PRIOR TO ANY SITE CONSTRUCTION (WHICH INCLUDES CLEARING/LOGGING OR GRADING THE SITE), CLEARING LIMITS SHALL BE LOCATED AND FIELD IDENTIFIED BY THE PROJECT SURVEYOR. THE CONTRACTOR SHALL COORDINATE WITH THE CITY AS REQUIRED.
- THE TEMPORARY EROSION/SEDIMENTATION CONTROL FACILITY SHALL BE CONSTRUCTED PRIOR TO ANY GRADING OR EXTENSIVE LAND CLEARING IN ACCORDANCE WITH THE APPROVED TEMPORARY EROSION/SEDIMENTATION CONTROL PLAN. THESE FACILITIES MUST BE SATISFACTORILY MAINTAINED.
- ALL SITE WORK MUST COMPLY TO CHAPTER 33 OF THE UNIFORM BUILDING CODE (1997 EDITION). ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH THE 2005 SEATTLE STANDARD SPECIFICATIONS FOR ROAD, BRIDGE, AND MUNICIPAL CONSTRUCTION (WSDOT/APWA).
- ALL EARTHWORK SHALL BE PERFORMED IN ACCORDANCE WITH CITY STANDARDS.
- SEE STRUCTURAL DRAWING FOR FOUNDATION DESIGN.
- STOCKPILES ARE TO BE LOCATED IN SAFE AREAS AND ADEQUATELY PROTECTED BY PLASTIC SHEETING, AND FILTER FENCE.
- ALL STRUCTURAL FILLS SHALL BE COMPACTED TO A MINIMUM OF 95% OF MAXIMUM DENSITY BY MODIFIED PROCTOR TEST.
- THE ESC FACILITIES SHOWN ON THIS PLAN MUST BE CONSTRUCTED IN CONJUNCTION WITH ALL CLEARING AND GRADING ACTIVITIES AND IN SUCH A MANNER AS TO ENSURE THAT SEDIMENT-LOADED WATER DOES NOT ENTER THE EXISTING DRAINAGE SYSTEM OR VIOLATE APPLICABLE WATER QUALITY REQUIREMENTS.
- THE ESC FACILITIES SHOWN ON THIS PLAN ARE THE MINIMUM REQUIREMENTS FOR ANTICIPATED SITE CONDITIONS. DURING THE CONSTRUCTION PERIOD, THESE ESC FACILITIES SHALL BE UPGRADED AS NEEDED FOR UNEXPECTED STORM EVENTS.
- THE ESC FACILITIES SHALL BE INSPECTED DAILY BY THE CONTRACTOR AND MAINTAINED AS NECESSARY TO ENSURE THEIR CONTINUED FUNCTIONING.
- FROM OCTOBER 1 TO APRIL 30, NO SOILS SHALL REMAIN UNSTABILIZED FOR MORE THAN TWO DAYS. FROM MAY 1 TO SEPTEMBER 30, NO SOILS SHALL REMAIN UNSTABILIZED FOR MORE THAN SEVEN DAYS. STABILIZE ALL SOILS INCLUDING STOCKPILES THAT ARE TEMPORARILY EXPOSED.
- THE ESC FACILITIES ON INACTIVE SITE SHALL BE INSPECTED AND MAINTAINED A MINIMUM OF ONCE A MONTH OR WITHIN THE 24 HOURS FOLLOWING A STORM EVENT.
- ALL ESC FACILITIES SHALL CONFORM TO THE CITY OF SEATTLE CONSTRUCTION BEST MANAGEMENT PRACTICES MANUAL. A COPY OF THIS DOCUMENT SHALL BE ON-SITE DURING CONSTRUCTION. ALL ESC STRUCTURES REFERENCES DETAILS IN THIS MANUAL UNLESS OTHERWISE NOTED.
- STOCKPILE OF SOIL INTENDED FOR USE AS FILL SHALL BE PROTECTED WITH PLASTIC SHEETING.
- PROVIDE CONSTRUCTION DE-WATERING AS DIRECTED BY THE SOILS ENGINEER.
- DISTURBED SOILS THAT ARE EXPOSED TO SURFACE RUNOFF SHALL BE STABILIZED WITH STRAW OR HYDROSEEDING AS DIRECTED BY THE SOILS ENGINEER.
- APPROVAL BY DPD OF THE DRAINAGE AND TEMPORARY EROSION CONTROL PLANS DOES NOT INCLUDE APPROVAL OF THE GRADING ACTIVITIES SHOWN HEREIN. GRADING ACTIVITIES WITHIN THE RIGHT-OF-WAY REQUIRES A STREET USE PERMIT FROM SEATTLE TRANSPORTATION GRADING ACTIVITIES ON ADJACENT PROPERTIES REQUIRES WRITTEN APPROVAL BY THE ADJACENT PROPERTY OWNER.
- CATCH BASINS IN THE STREET SHALL BE INSPECTED BY THE CONTRACTOR DAILY. WATER LEAVING THE SITE DURING CONSTRUCTION, INCLUDING WATER CARRIED BY TRUCKS, SHALL BE CLEAN. THE CONTRACTOR SHALL CLEAN CITY CATCH BASINS AND IMPLEMENT EXTRA SEDIMENTATION CONTROL METHODS IF NECESSARY AND AS DIRECTED BY THE SEATTLE ENGINEERING DEPARTMENT'S STREET USE INSPECTOR.
- DEWATERING OF THE EXCAVATION HOLE THAT INCLUDES DISCHARGE TO THE CITY STREET OR SEWER SHALL BE IMPLEMENTED ONLY AFTER APPROVAL BY THE STREET USE INSPECTOR.
- THE TEMPORARY CONSTRUCTION EROSION CONTROL MEASURES SHOWN ON THESE PLANS MAY BE ALTERED OR ADDED TO AS DETERMINED BY THE STREET USE INSPECTOR AND/OR THE DPD SITE INSPECTOR.
- BMP EROSION CONTROL MEASURES MUST BE IN-PLACE AND APPROVED BY THE DPD SITE DEVELOPMENT INSPECTOR PRIOR TO DEMOLITION AND GRADING. CALL ART RICHMOND @ (206) 233-3875 TO SCHEDULE AN INSPECTION.

#### LEGEND:

- EXISTING TO REMAIN
- PROPOSED WORK
- NOT IN CONTRACT (N.I.C.) EXISTING BUILDING AREA TO REMAIN



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Architecture  
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New York  
Warsaw

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PROJECT NUMBER: C23121  
PROJECT MANAGER: A/JF  
PA \ PE: A/JF  
DRAWN BY: PRW  
CHECKED BY: A/JF

#### Landscape Designer

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#### Architect

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#### Owner

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#### Project

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Seattle, WA 98121-1207

**CAVATINA**  
LOCAL • GLOBAL • HOLISTIC



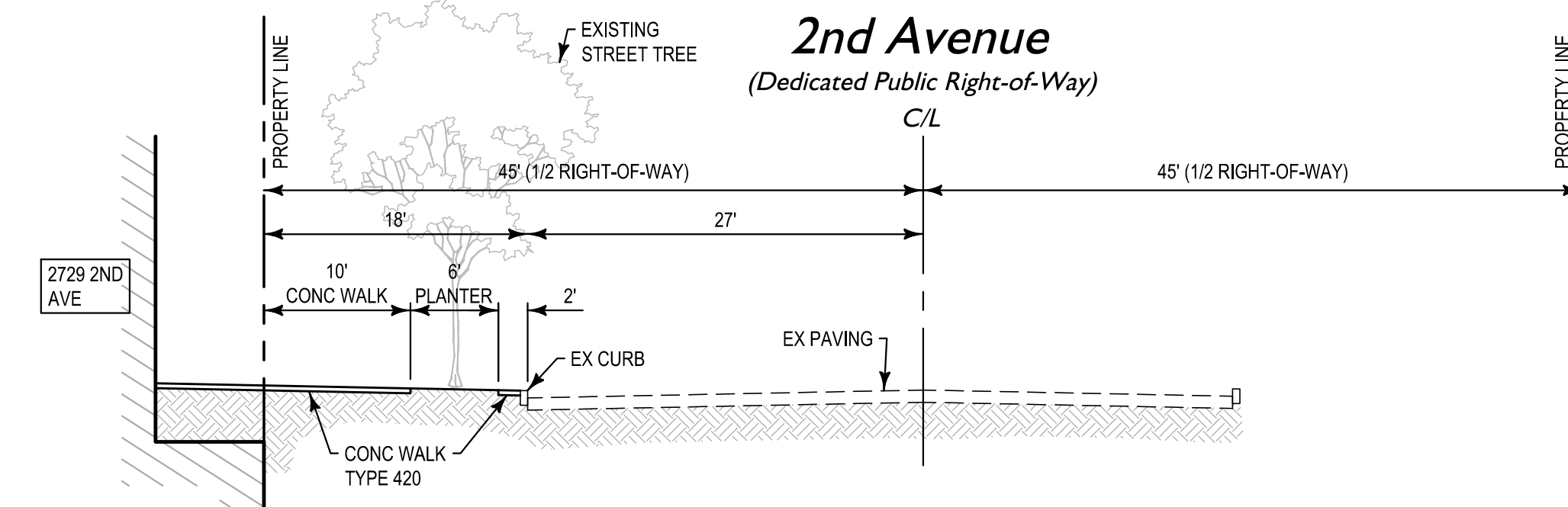
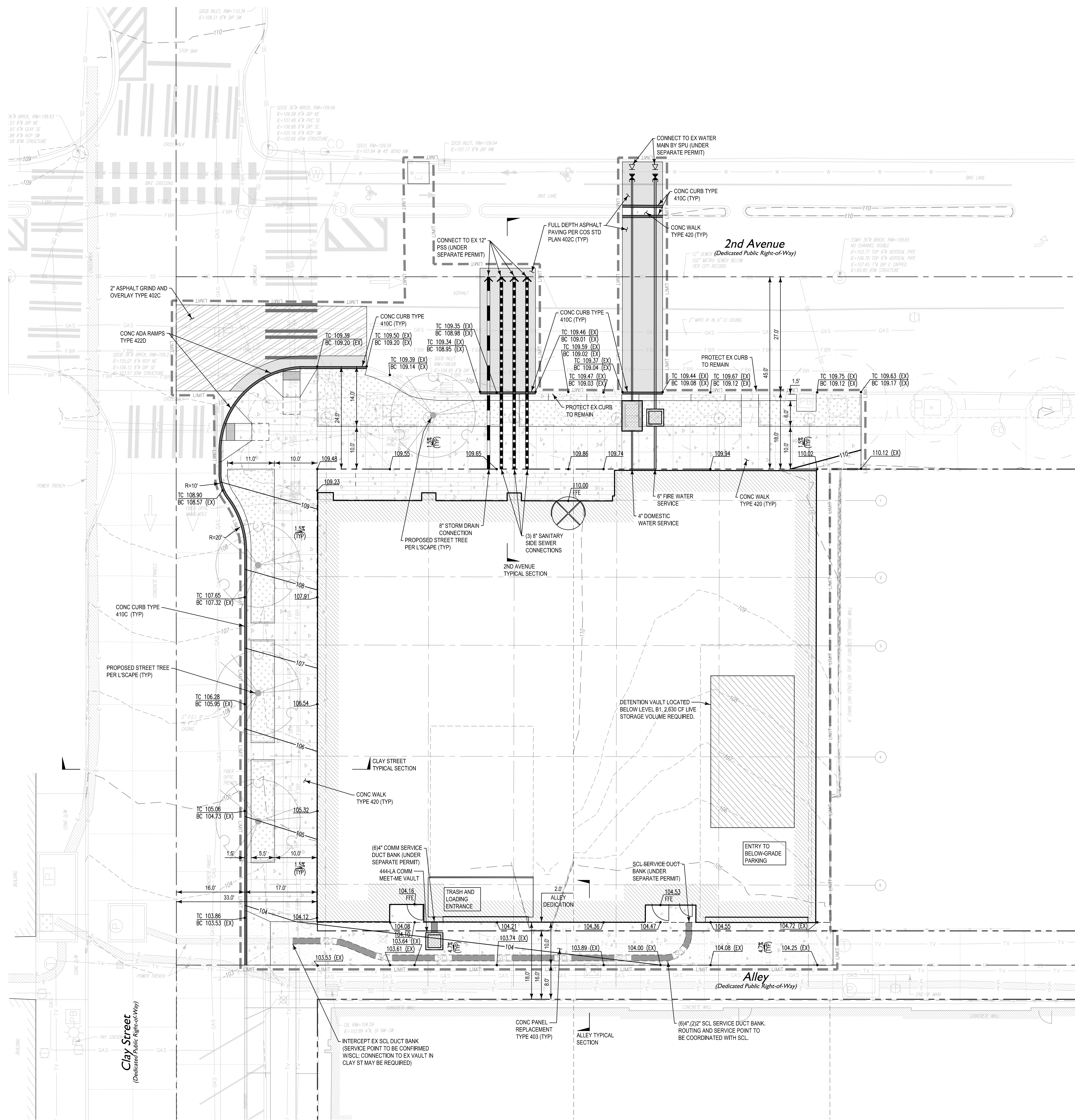
SDG APPROVAL

TESC PLAN

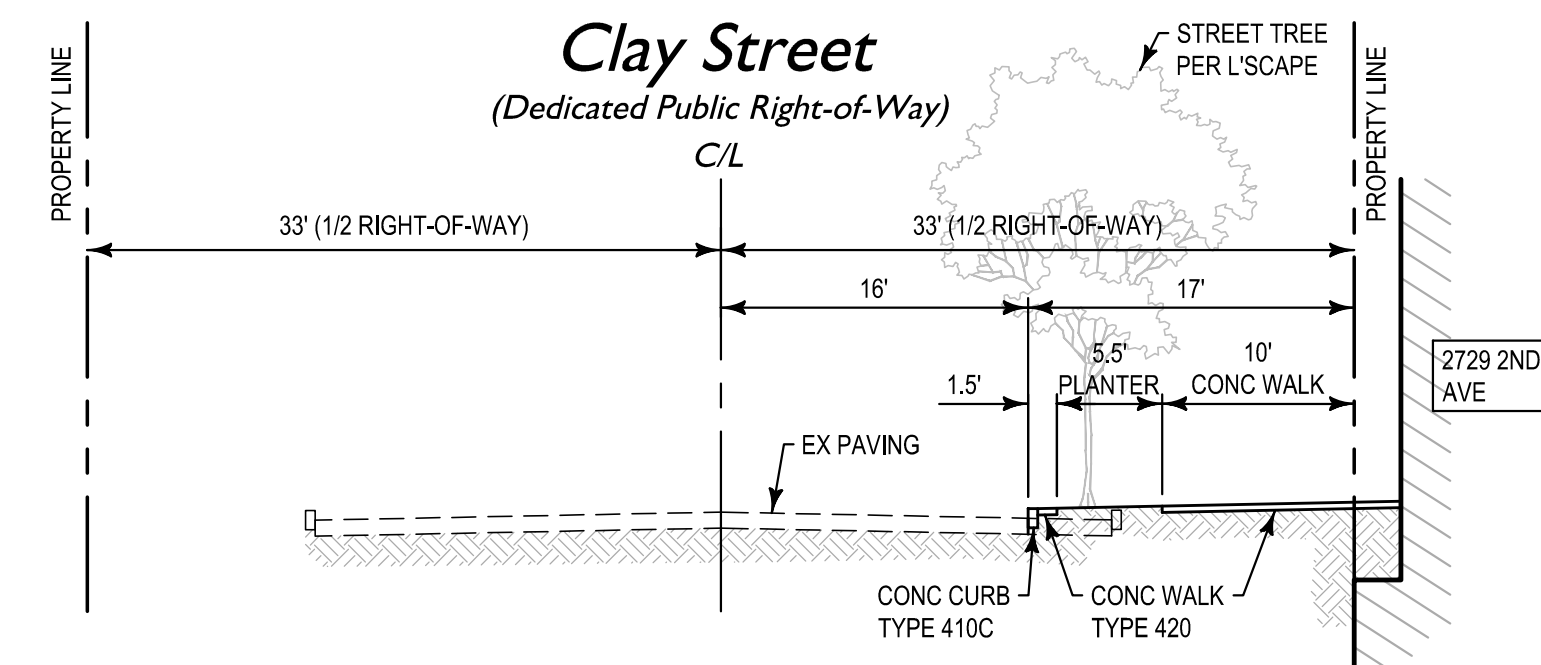
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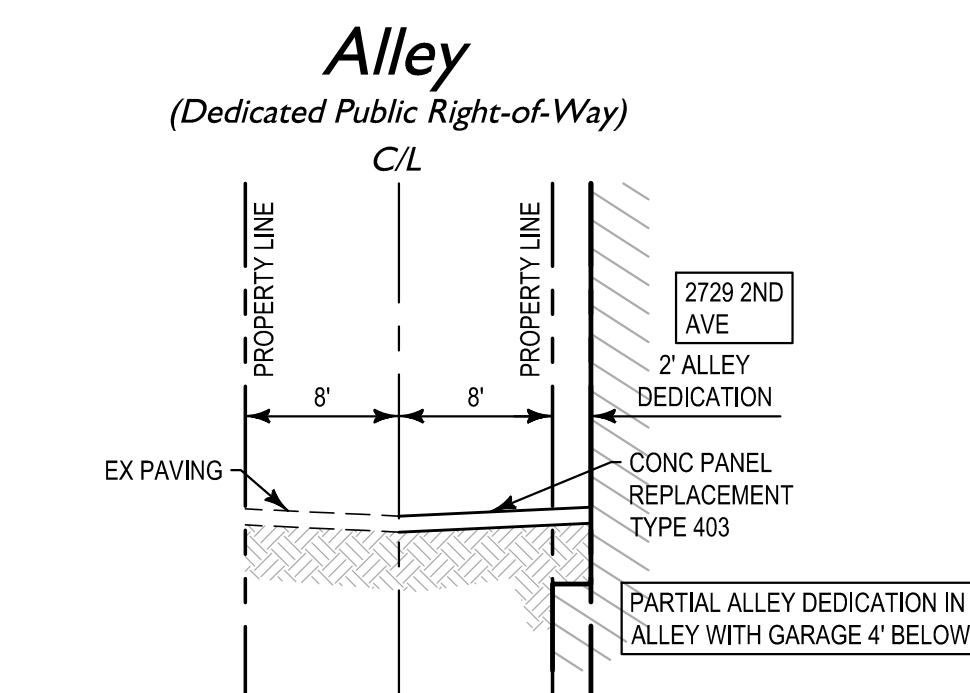




2nd Avenue Typical Section  
SCALE 1" = 10'

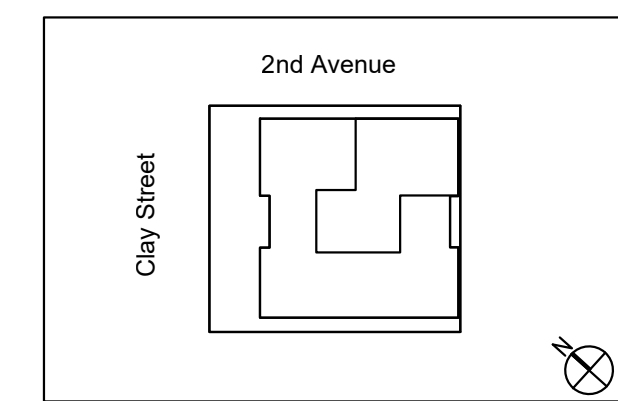


Clay Street Typical Section  
SCALE 1" = 10'



Alley Typical Section  
SCALE 1" = 10'

LEGEND:  
— EXISTING TO REMAIN  
— PROPOSED WORK  
NOT IN CONTRACT (N.I.C.) EXISTING BUILDING AREA TO REMAIN



1. 2024.06.17 MASTER USE PERMIT  
NO. DATE REVISIONS/ISSUANCES

Architecture Interiors Engineering Construction  
Chicago New York Warsaw  
600 W. Fulton Street  
Chicago, IL 60661-1259  
T 312.454.9100  
www.epsteinenglobal.com

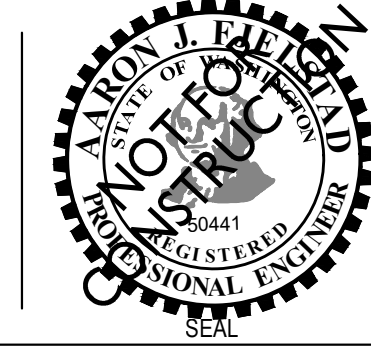
PROJECT NUMBER: C23121  
PROJECT MANAGER: AJF  
PA I PE: AJF  
DRAWN BY: PRW  
CHECKED BY: AJF

SDCI APPROVAL  
CIVIL SITE PLAN

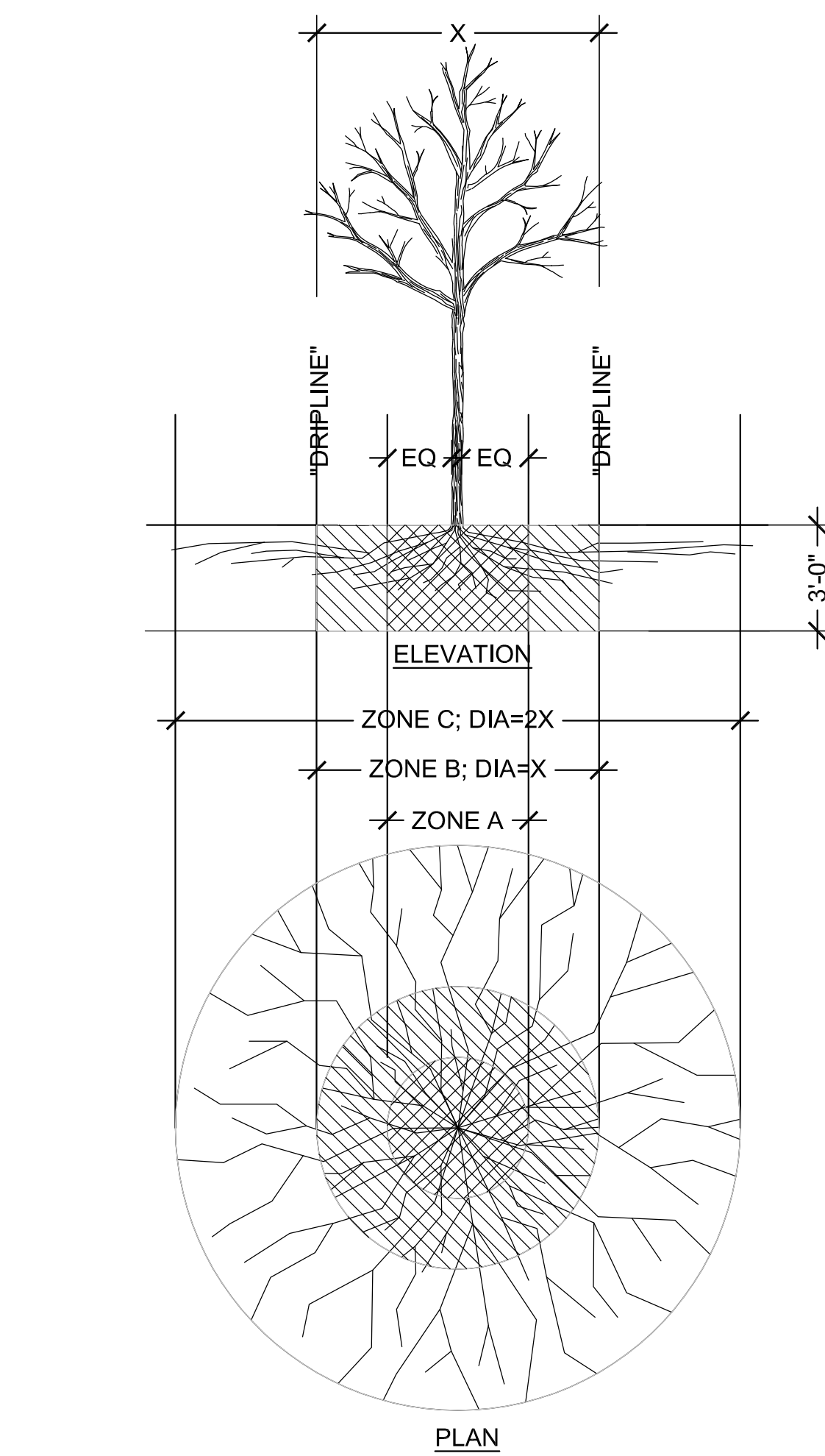
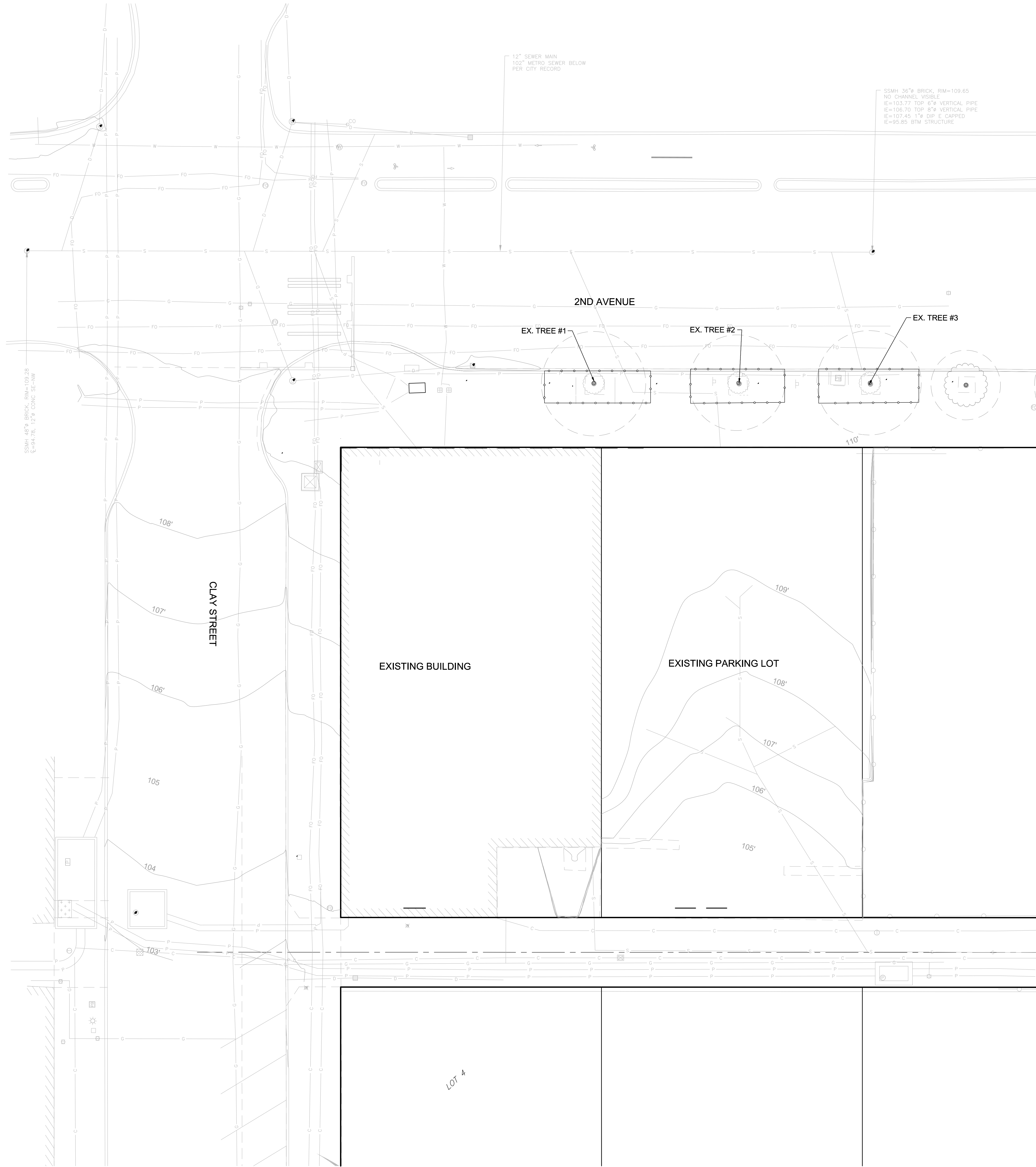
Landscape Designer  
SITE WORKSHOP  
3000 Woodland Park Avenue N  
Seattle, WA 98103  
206.285.3028  
MEP / FP Engineer  
EPSTEIN  
600 W. Fulton Street  
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312.454.9100  
Structural Engineer  
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206.343.0480  
Architect  
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Owner  
CAVATINA GW SP, Z.O.O.  
600 W. Fulton Street  
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30-552 Kraków, Poland  
Project  
2ND & CLAY  
2729 2nd Avenue  
Seattle, WA 98121-1207

CAVATINA  
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**FENCING/ROOT PROTECTION**  
CHAIN LINK FENCING TO BE PROVIDED AND MAINTAINED AT DRIPLINE. ENGINEER'S APPROVAL REQUIRED FOR USE/ACCESS WITHIN ZONE B. PERMISSION FOR USE/ACCESS REQUIRES SURFACE PROTECTION FOR ALL UNFENCED, UNPAVED SURFACES WITHIN ZONE B  
\* SURFACE PROTECTION MEASURES  
1. MULCH LAYER, 6"-8" DEPTH  
2. 3/4" PLYWOOD  
3. STEEL PLATES

**TRENCHING/EXCAVATION**  
**ZONE A (TPA - BASIC)**  
1. 1" FOR EVERY INCH DSH OF TREE  
2. NO DISTURBANCE ALLOWED WITHOUT SITE-SPECIFIC INSPECTION AND APPROVAL OF METHODS TO MINIMIZE ROOT DAMAGE  
3. SEVERANCE OF ROOTS LARGER THAN 2" DIA REQUIRES ENGINEER'S APPROVAL  
4. TUNNELING REQUIRED TO INSTALL LINES 3'-0" BELOW GRADE OR DEEPER

**ZONE B (DRIPLINE)**  
1. OPERATION OF HEAVY EQUIPMENT AND/OR STOCKPILING OF MATERIALS SUBJECT TO ENGINEERS APPROVAL. SURFACE PROTECTION\* MEASURES REQUIRED  
2. TRENCHING ALLOWED AS FOLLOWS:  
2.1. EXCAVATION BY HAND OR WITH HAND-DRIVEN TRENCHER MAY BE REQUIRED  
2.2. LIMIT TRENCH WIDTH. DO NOT DISTURB ZONE A. MAINTAIN 2/3 OR MORE OF ZONE B IN UNDISTURBED CONDITION  
3. TUNNELING MAY BE REQUIRED FOR TRENCHES DEEPER THAN 3'-0"

**ZONE C (FEEDER ROOT ZONE)**  
1. OPERATION OF HEAVY EQUIPMENT AND/OR STOCKPILING OF MATERIALS SUBJECT TO ENGINEERS APPROVAL. SURFACE PROTECTION\* MEASURES MAY BE REQUIRED.  
2. TRENCHING WITH HEAVY EQUIPMENT ALLOWED AS FOLLOWS:  
2.1. MINIMIZE TRENCH WIDTH  
2.2. MAINTAIN 2/3 OR MORE OF ZONE C, UNDISTURBED CONDITION

## 1 TEMPORARY TREE PROTECTION

SCALE: 1/4" = 1'-0"

### TREE PROTECTION NOTES

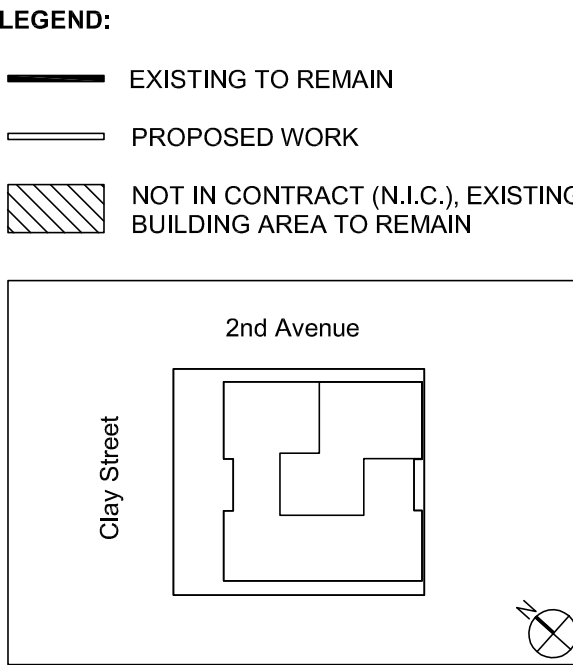
- ALL EXISTING TREES ARE WITHIN THE R.O.W. NONE OF THE EXISTING TREES ARE SIGNIFICANT OR EXCEPTIONAL PER SMC 25.11 AND DPD DIRECTOR'S RULE.
- DEVELOPMENT OF THIS BLOCK WILL PROVIDE TREES IN EXCESS OF THE QUANTITY OF TREES CURRENTLY ON THE SITE.
- STREET TREES DESIGNATED TO REMAIN WILL BE PROTECTED IN PLACE PER SDOT URBAN FORESTRY REQUIREMENTS UNDER THE SUPERVISION OF A CERTIFIED ARBORIST AND SDOT URBAN FORESTRY STAFF.
- TREE PROTECTION WHERE CONSTRUCTION OCCURS WITHIN THE DRIPLINE OF EXISTING TREES NOT DESIGNATED FOR REMOVAL SHALL BE IN ACCORDANCE WITH THE CITY OF SEATTLE STANDARD PLANS 152a, 135 AND 134 (MOST RECENT EDITION), AND DEFINED ZONE CLEARANCE REQUIREMENTS.

### EXISTING TREE INVERNTRY

TREE #	SCIENTIFIC NAME	COMMON NAME	SIZE (CAPLIPER)	REMOVE	PROTECT IN PLACE	NOTES
1	LIRIODENDRON TULIPIFERA	TULIP TREE	12"		X	
2	LIRIODENDRON TULIPIFERA	TULIP TREE	11"		X	
3	LIRIODENDRON TULIPIFERA	TULIP TREE	12"		X	

### LEGEND

- PROPERTY LINE
- BUILDING OUTLINE
- BUILDING ABOVE
- EXISTING TREE TO REMAIN PROTECT IN PLACE
- PROTECTION FENCING PER COS



NO.	DATE	REVISIONS/ISSUANCES
1	2024/06/17	MJP

Architecture  
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Construction

Chicago  
New York  
Warsaw

601 W. Fulton Street  
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PROJECT NUMBER: 1602.1  
PROJECT MANAGER: AMS  
PA1 PE: JK  
DRAWN BY: AMS  
CHECKED BY: CB

Landscape Designer

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3800 Woodland Park Avenue N  
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Project

2ND & CLAY  
2725 2nd Avenue  
Seattle, WA 98112-1207

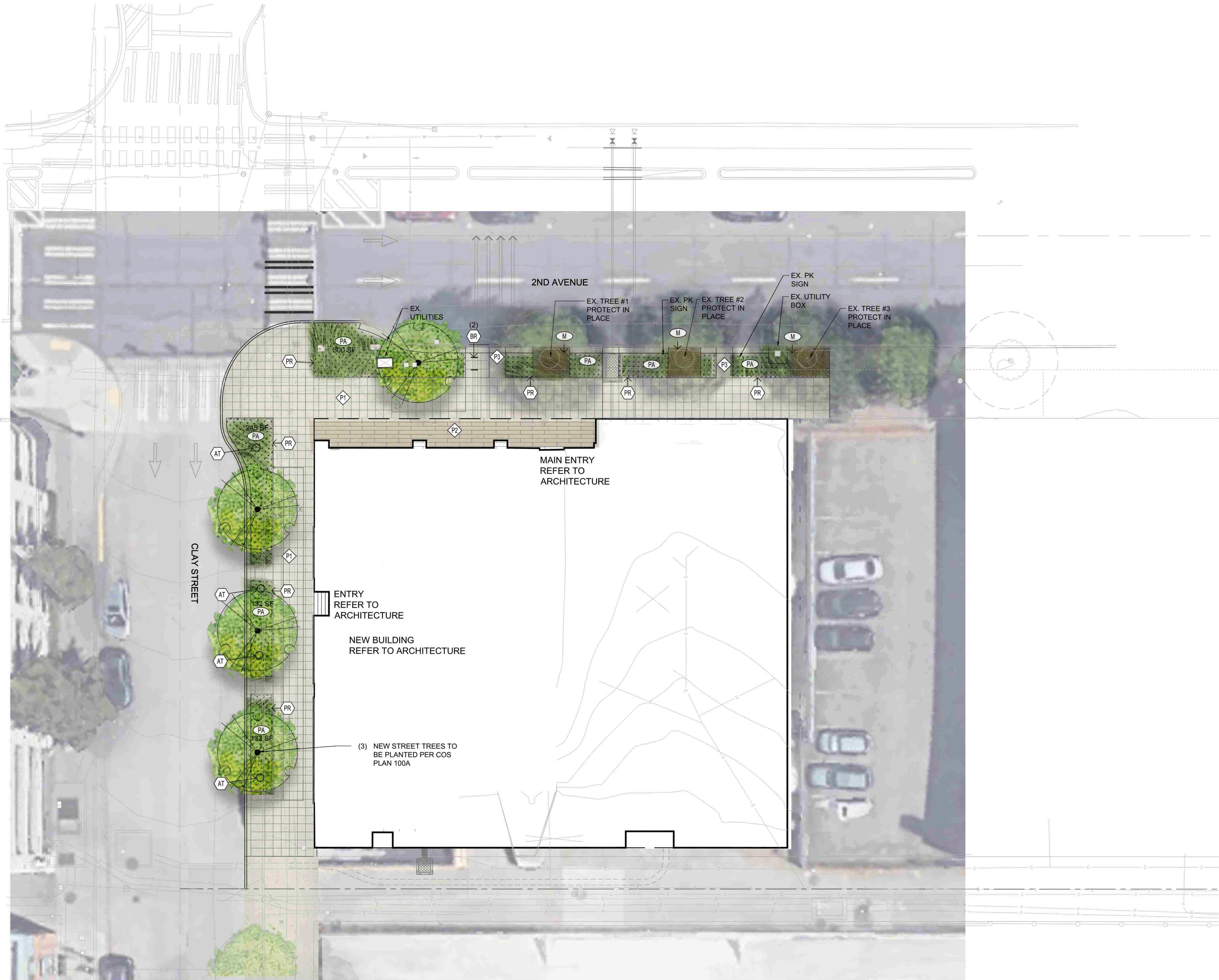


SDCI APPROVAL

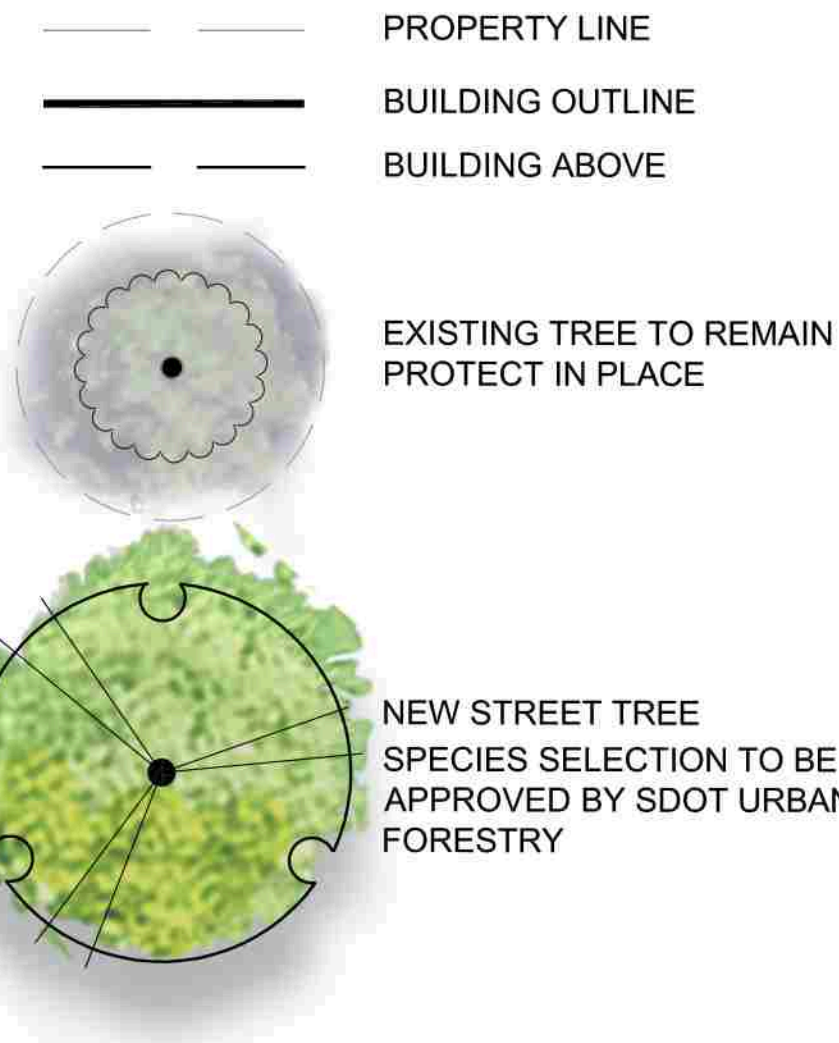
TREE PROTECTION PLAN

L-010





LEGEND



MATERIALS LEGEND

KEY	SYMBOL	DESCRIPTION	
P1		CONCRETE PAVING. CITY OF SEATTLE STANDARD PATTERN. SAW-CUT JOINTS. SANDBLAST FINISH. REF. CIVIL FOR SECTION	
P2		SPECIAL PAVERS. MORTAR SET	
P3		PERMEABLE PAVERS. NATURAL GREY	

FURNISHINGS LEGEND

KEY	SYMBOL	DESCRIPTION	
PF		PLANT PROTECTION FENCING STEEL 12" HIGH	
BR		BIKE RACK (2). BASIS OF DESIGN WESTPORT NO SCRATCH BIKE RACK.	
AT		PUBLIC ART WITHIN R.O.W. TBD. WILL ADHERE TO COS ORDINANCE & CLEARANCES.	

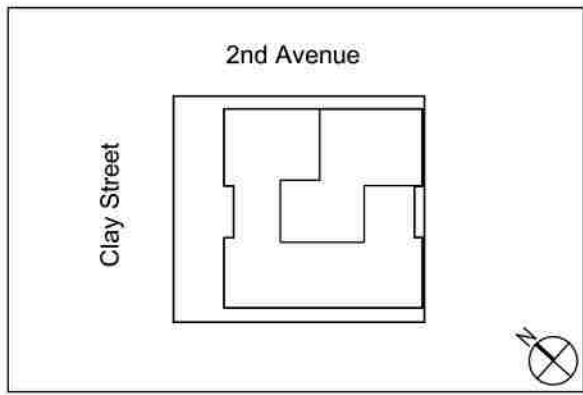
PLANTING LEGEND

KEY	SYMBOL	DESCRIPTION	
PA		PLANTING AREA. SOIL DEPTH PER CITY OF SEATTLE STANDARDS. CONTAINER STOCK PLANTINGS. 50% OF PLANTINGS TO BE PERENNIALS. NOTE 2	
M		3" 4" MULCH IN ROOT ZONE OF EXISTING TREES TO REMAIN.	
		SUSPENDED PAVING SYSTEM SUCH AS SILVA CELL. TO PROVIDE REQUIRED SOIL VOLUME FOR STREET TREES. SEE NOTE 1 BELOW.	

- NOTES
- SOIL VOLUME FOR NEW STREET TREES
- 2ND AVE - 1 TREE  
TOTAL = 1236 CF  
PA = 300 SF X 36" D = 900 CF  
SILVA CELL 2X 159 SF X 30" = 336 CF
- CLAY STREET - 3 TREES  
TOTAL = 2952.5 CF = 984 CF PER TREE  
PA = 509SF X 36" = 1527 CF  
SILVA CELL 3X = 253 SF X 42" = 885.5 CF  
SILVA CELL 1X = 405 SF X 18" = 540 CF
- PLANT PALETTE TO BE A MIX OF LOW SHRUBS, GRASSES AND PERENNIALS. 50% OF PLANTS TO BE PERENNIAL.
- 2ND AVENUE  
ALLIUM X MILLENNIUM / MILLENNIUM ORNAMENTAL ONION  
CAREX PRAEGRACILIS / CALIFORNIAN SEDGE  
IRIS TENAX / OREGON IRIS  
HELIOTRICHON SEMPERVIRENS / BLUE OAT GRASS  
POLYTICHUM POLYBELPHARUM / JAPANESE TASSEL FERN

- 2ND CLAY  
ALLIUM X MILLENNIUM / MILLENNIUM ORNAMENTAL ONION  
CAREX PRAEGRACILIS / CALIFORNIAN SEDGE  
DICHELOSTEMMA IDA-MAIA / FIRE CRACKER FLOWER  
IRIS TENAX / OREGON IRIS  
HELIOTRICHON SEMPERVIRENS / BLUE OAT GRASS  
VACCINIUM GLAUCALBUM / HIMALAYAN HUCKLEBERRY

- LEGEND:
- EXISTING TO REMAIN
  - PROPOSED WORK
  - NOT IN CONTRACT (N.I.C.), EXISTING BUILDING AREA TO REMAIN



NO.	DATE	REVISIONS/ISSUANCES
1	2024/06/17	MUP

Architecture  
Interiors  
Engineering  
Construction

Chicago  
New York  
Warsaw

600 W. Fulton Street  
Chicago, IL 60661-1259  
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PROJECT NUMBER: 1602.1  
PROJECT MANAGER: AMS  
PA1 PE: JK  
DRAWN BY: AMS  
CHECKED BY: CB

Landscape Designer

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312.454.9100

Owner

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Project

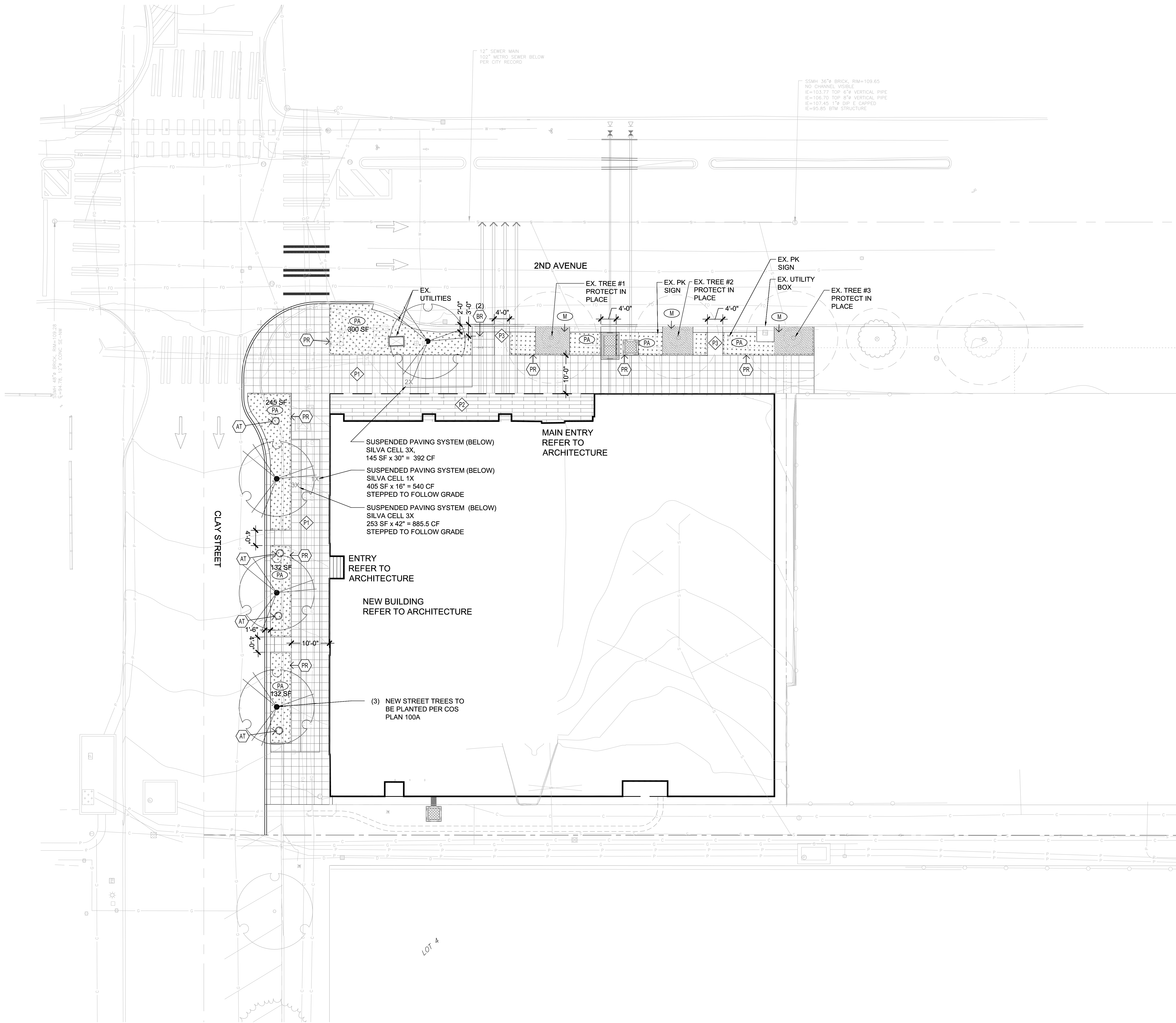
2ND & CLAY  
2729 2nd Avenue  
Seattle, WA 98121-1207



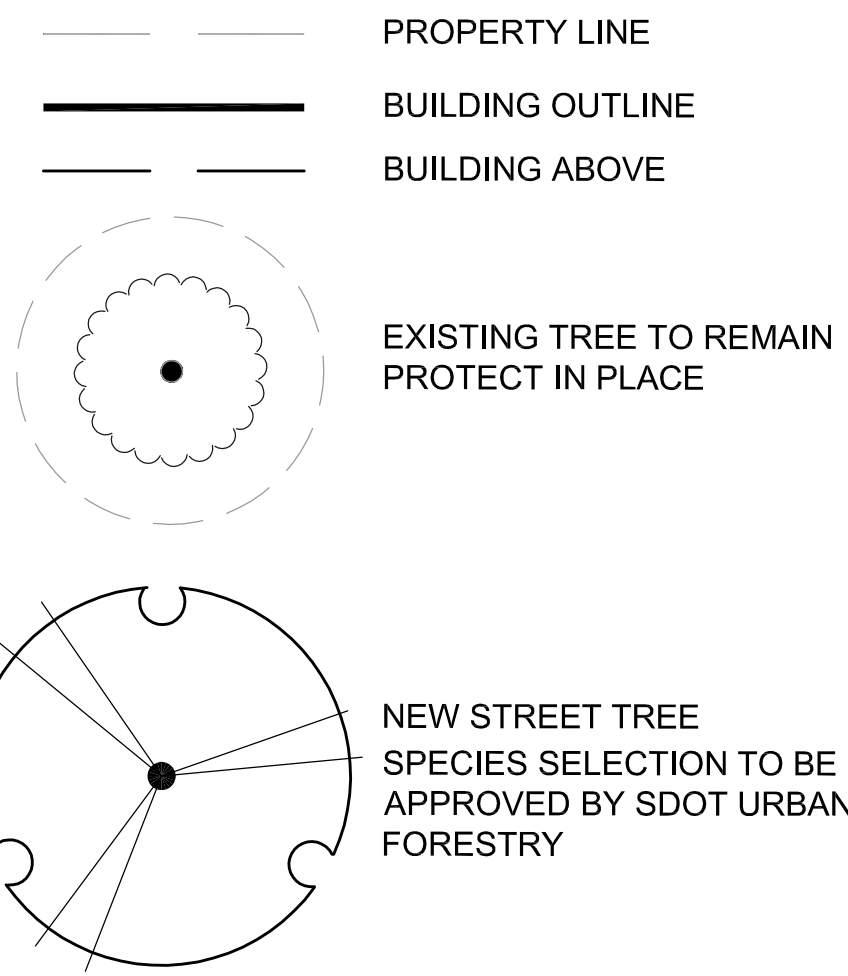
SITE PLAN - COLOR

L-100





LEGEND



MATERIALS LEGEND

KEY	SYMBOL	DESCRIPTION
P1	[Grid pattern]	CONCRETE PAVING, CITY OF SEATTLE STANDARD PATTERN, SAW-CUT JOINTS, SANDBLAST FINISH, REF. CIVIL FOR SECTION
P2	[Grid pattern]	SPECIAL PAVERS, MORTAR SET
P3	[Grid pattern]	PERMEABLE PAVERS, NATURAL GREY

FURNISHINGS LEGEND

KEY	SYMBOL	DESCRIPTION
PF	[Line with cross-ticks]	PLANT PROTECTION FENCING STEEL 12" HIGH
BR	[Bike rack symbol]	BIKE RACK (2), BASIS OF DESIGN WESTPORT NO SCRATCH BIKE RACK.
AT	[Art symbol]	PUBLIC ART WITHIN R.O.W. TBD. WILL ADHERE TO COS ORDINANCE & CLEARANCES.

PLANTING LEGEND

KEY	SYMBOL	DESCRIPTION
PA	[Dotted pattern]	PLANTING AREA. SOIL DEPTH PER CITY OF SEATTLE STANDARDS. CONTAINER STOCK PLANTINGS. 50% OF PLANTINGS TO BE PERENNIALS. NOTE 2
M	[Shaded area]	3'-4" MULCH IN ROOT ZONE OF EXISTING TREES TO REMAIN.
	[Grid pattern with dimensions]	SUSPENDED PAVING SYSTEM SUCH AS SILVA CELL, TO PROVIDE REQUIRED SOIL VOLUME FOR STREET TREES. SEE NOTE 1 BELOW.

NOTES

1. SOIL VOLUME FOR NEW STREET TREES

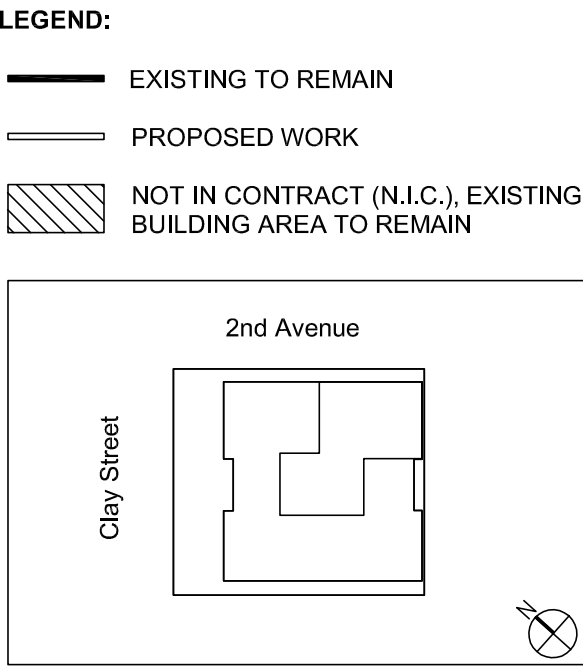
2ND AVE - 1 TREE  
TOTAL = 1236 CF  
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SILVA CELL 2X 159 SF X 30" = 336 CF

CLAY STREET - 3 TREES  
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PA = 509SF X 36" = 1527 CF  
SILVA CELL 3X = 253 SF X 42" = 885.5 CF  
SILVA CELL 1X = 405 SF X 16" = 540 CF

2. PLANT PALETTE TO BE A MIX OF LOW SHRUBS, GRASSES AND PERENNIALS. 50% OF PLANTS TO BE PERENNIAL.

2ND AVENUE  
ALLIUM X MILLENNIUM / MILLENNIUM ORNAMENTAL ONION  
CAREX PRAEGRACILIS / CALIFORNIAN SEDGE  
IRIS TENAX / OREGON IRIS  
HELICTOTRICHON SEMPERVIRENS / BLUE OAT GRASS  
POLYTICHUM POLYBELPHARUM / JAPANESE TASSEL FERN

2ND CLAY  
ALLIUM X MILLENNIUM / MILLENNIUM ORNAMENTAL ONION  
CAREX PRAEGRACILIS / CALIFORNIAN SEDGE  
DICHELOSTEMMA IDA-MAIA / FIRE CRACKER FLOWER  
IRIS TENAX / OREGON IRIS  
HELICTOTRICHON SEMPERVIRENS / BLUE OAT GRASS  
VACCINIUM LAUCCOALBUM / HIMALAYAN HUCKLEBERRY



NO.	DATE	REVISIONS/ISSUANCES
1	2024/06/17	MUP

Architecture  
Interiors  
Engineering  
Construction

601 W. Fulton Street  
Chicago, IL 60661-1259  
T 312.454.9100  
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PROJECT NUMBER: 1602.1  
PROJECT MANAGER: AMS  
PA1 PE: JK  
DRAWN BY: AMS  
CHECKED BY: CB

Landscape Designer

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3805 Woodland Park Avenue N  
Seattle, WA 98103  
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Structural Engineer

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Owner

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30-552 Kraków, Poland

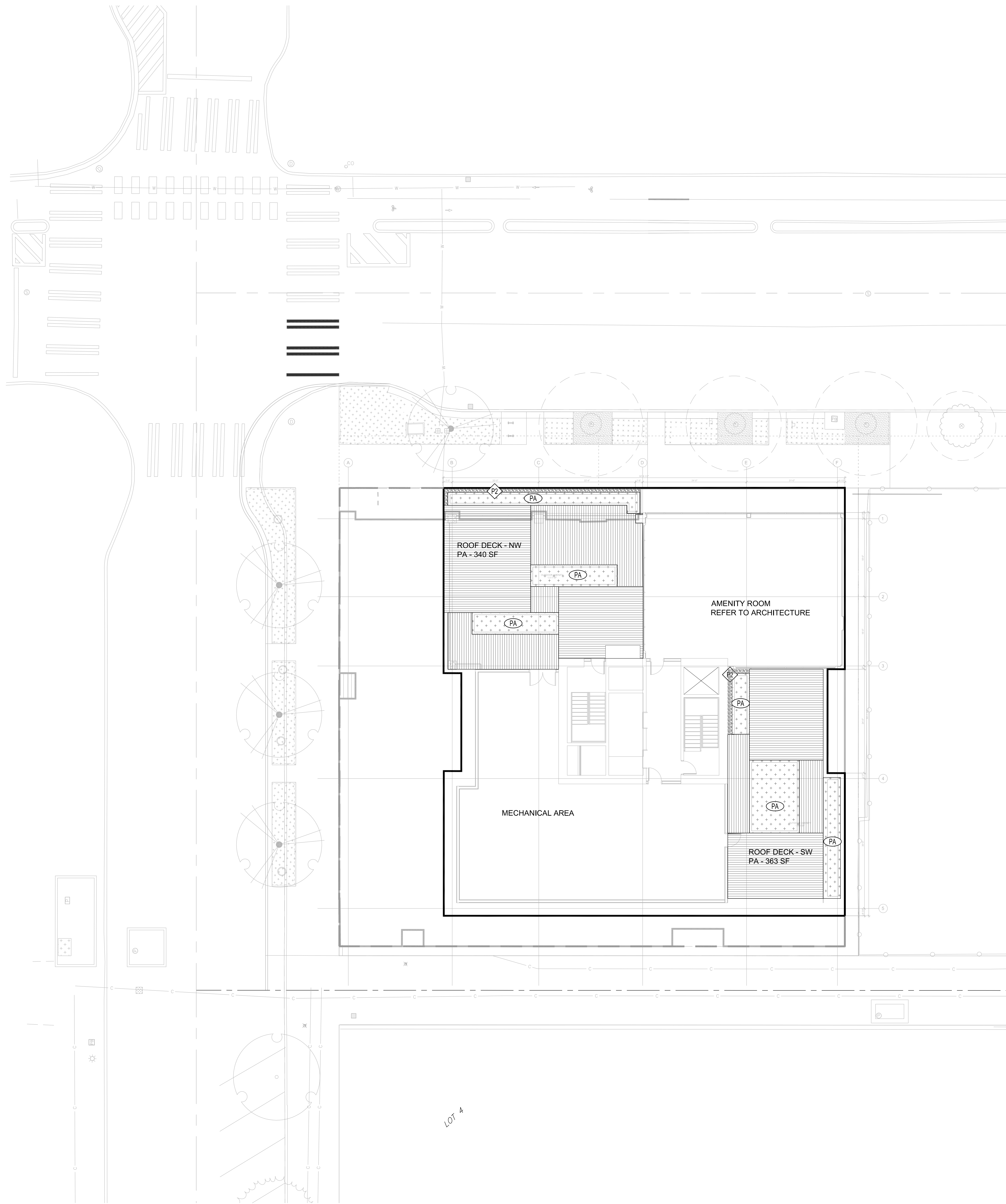
Project

2ND & CLAY  
2729 2nd Avenue  
Seattle, WA 98121-1207



SITE MATERIAL PLAN





MATERIALS LEGEND

KEY	SYMBOL	DESCRIPTION	
P1		PAVING SYSTEM ON PEDESTAL	
P2		MAINTENANCE EDGE - CRUSHED ROCK WITH METAL EDGING	

PLANTING LEGEND

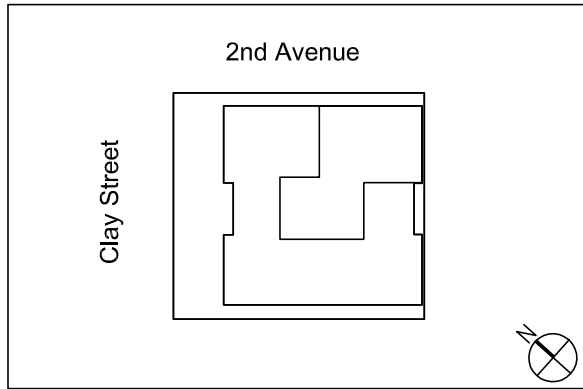
KEY	SYMBOL	DESCRIPTION	
PA		PLANTING IN STEEL PLANTERS. PLANTER BASIS OF DESIGN: PLANTER WORK, PLANTERS TO BE LOCATED ON 8" STEM WALLS CONNECTED TO STRUCTURAL SLAB.	

NOTES

1. PLANT PALETTE TO BE A MIX OF LOW SHRUBS, GRASSES AND PERENNIALS.
2. ON-STRUCTURE SIL AREA SAND BASED SOIL MIXES DESIGNED TO PROVIDE GOOD DRAINAGE AND MINIMAL SETTLEMENT OVER TIME.
3. SOIL WEIGHTS: 125 LBS PER CUBIC FOOT.
4. ALL ON STRUCTURAL PLANTING AREAS TO BE SEPARATED FROM ALL PAVING AREA WITH A STEM WALL OR CURB, UNLESS PLANTING IS IN STEEL PLANTERS.
5. AUTOMATIC IRRIGATION SYSTEM WILL BE PROVIDED FOR ALL PLANTING AREAS.
6. IRRIGATION LINES RUNNING THROUGH BUILDING SPACES WILL MEET PLUMBING CODE.

LEGEND:

- EXISTING TO REMAIN
- PROPOSED WORK
- NOT IN CONTRACT (N.I.C.): EXISTING BUILDING AREA TO REMAIN



NO.	DATE	REVISIONS/ISSUANCES
1	2024/06/17	MUP

Architecture  
Interiors  
Engineering  
Construction

Chicago  
New York  
Warsaw

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PROJECT NUMBER: 1602.1  
PROJECT MANAGER: AMS  
PA1 PE: JK  
DRAWN BY: AMS  
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Landscape Designer

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3800 Woodland Park Avenue N  
Seattle, WA 98103  
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Owner

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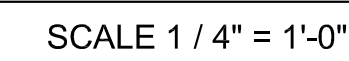
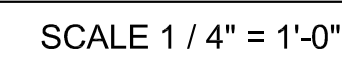
Project

2ND & CLAY  
2725 2nd Avenue  
Seattle, WA 98121-1207



SDCI APPROVAL  
ROOF MATERIAL PLAN



[illegible]

**Architecture  
Interiors  
Engineering  
Construction**

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New York  
Warsaw

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[www.epsteengineering.com](http://www.epsteengineering.com)

PROJECT NUMBER:	1602.1
PROJECT MANAGER:	AMS
PA \ PE:	JK
DRAWN BY:	AMS
CHECKED BY:	CB

SDCI APPROVAL \_\_\_\_\_

## SECTIONS

L-310

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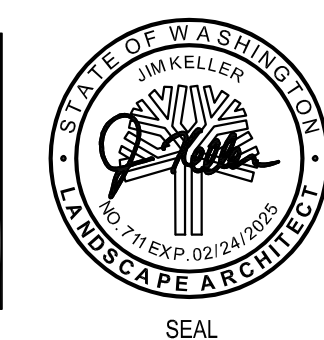
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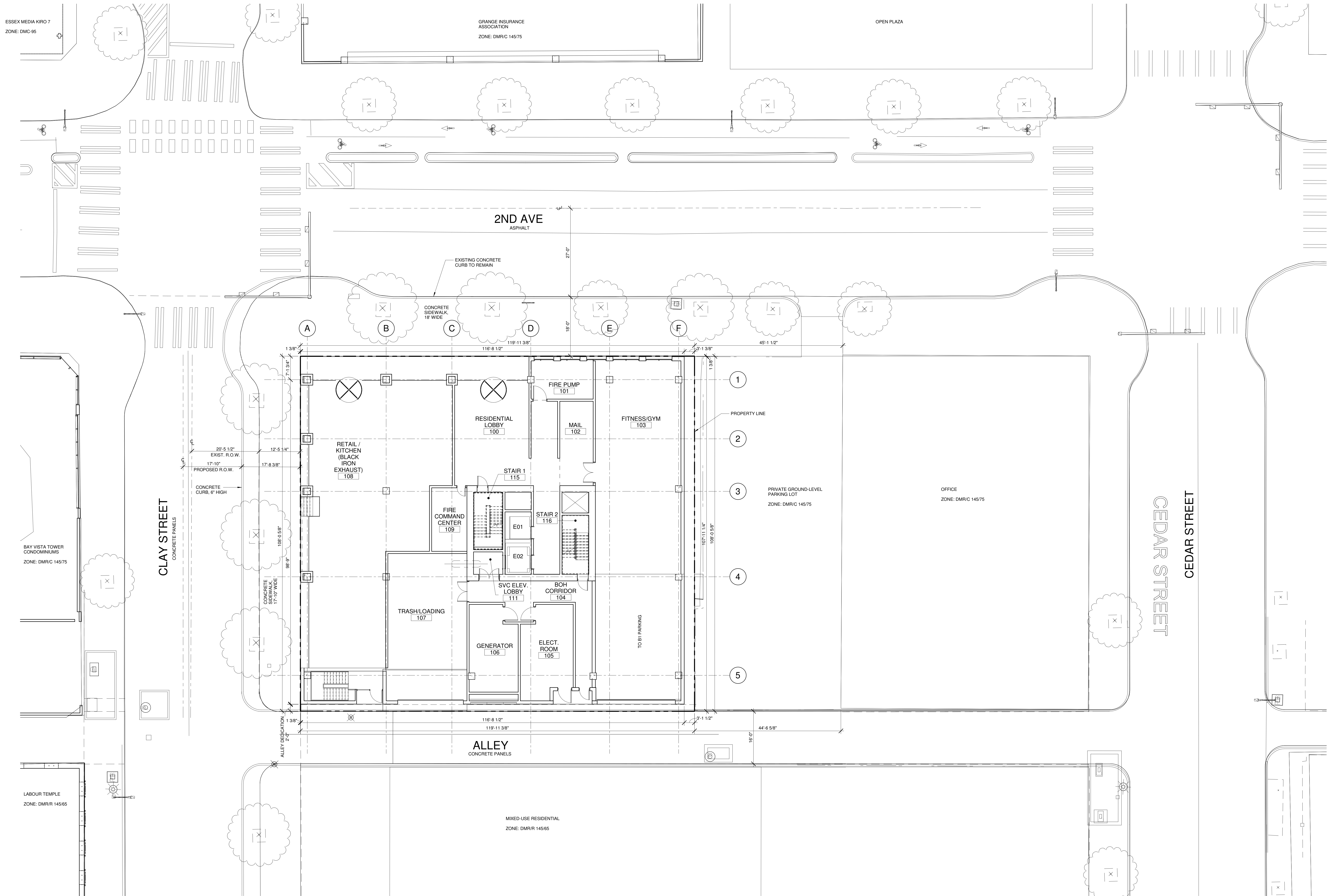
CAVATINA GW SP. Z O.O.  
ul. Wielicka 28 B  
30-552 Kraków, Poland

2ND & CLAY  
2729 2nd Avenue  
Seattle, WA 98121-1207

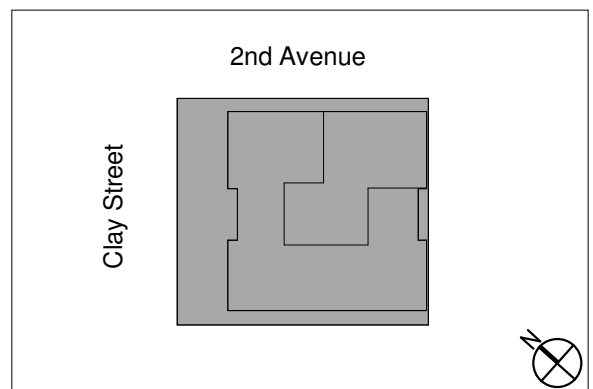




OWNER: NAME: CAVATINA GW SP. Z O.O.  
ADDRESS: WIELICKA 28 B 30-552 KRAKOW, POLAND  
EMAIL: SZYMON.BEDKOWSKI@CAVATINA.PL  
PHONE NUMBER: ANDREW LACH: 708.754.2059  
KING COUNTY ASSESSOR'S PARCEL NUMBER (APN): 065400-0065  
LEGAL DESCRIPTION: BELL AND DENNY'S 1ST ADD LESS POR FOR ST



1 ARCHITECTURAL SITE PLAN  
SCALE: 1" = 10'-0"



T. 2024.06.17 MUP ISSUANCE  
NO. DATE REVISIONS/ISSUANCES



Architecture Interiors Engineering Construction  
Chicago New York Warsaw  
600 W. Fulton Street  
Chicago, IL 60661-1259  
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www.epsteinglobal.com

PROJECT NUMBER: 23208  
PROJECT MANAGER: T. RUSSELL  
PA / PE: S. CYGIELSKI  
DRAWN BY: A. KNIGHTON  
CHECKED BY: J. HEINEY

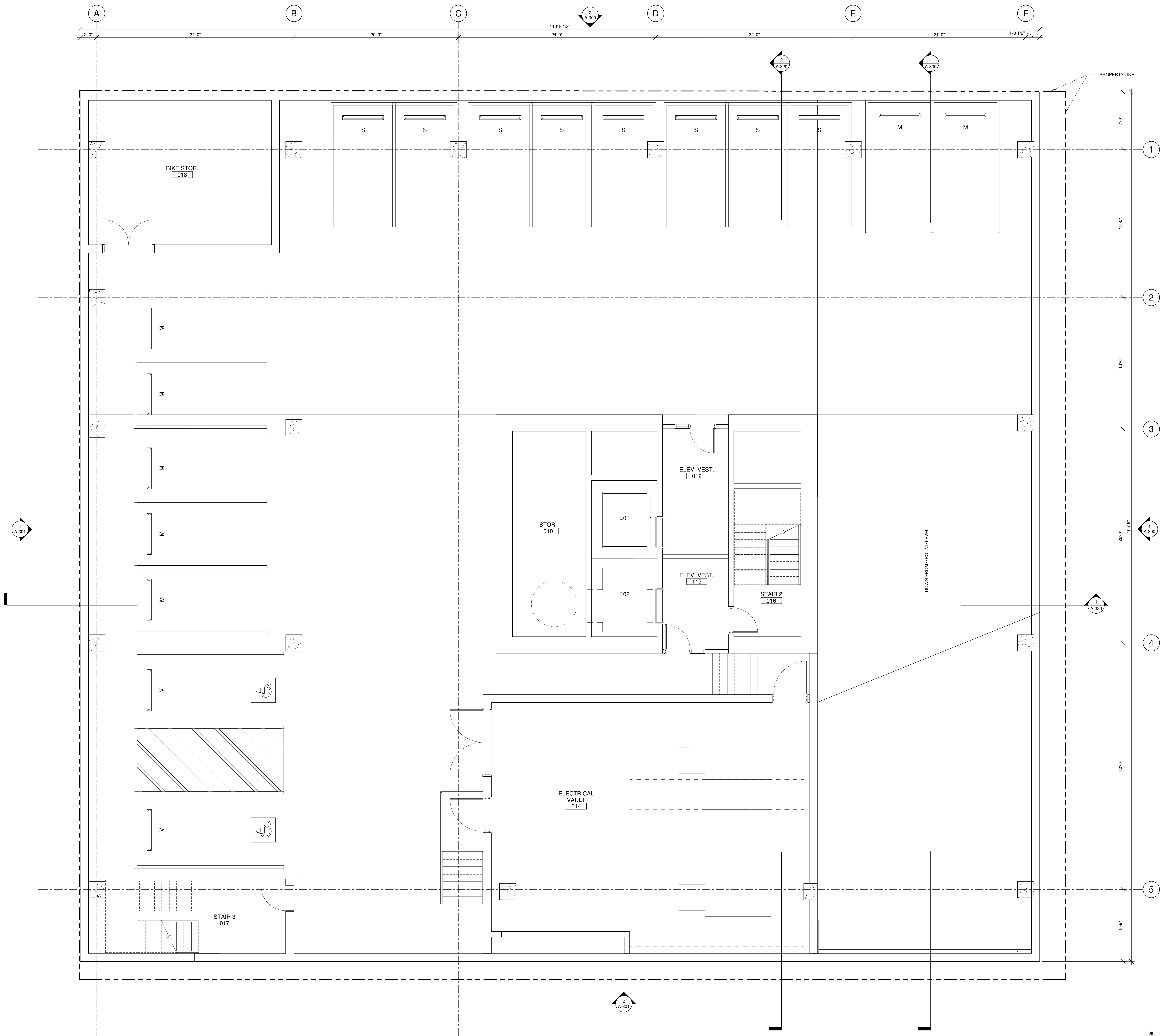
Landscape Designer: SITE WORKSHOP, 3800 Woodland Park Avenue N, Seattle, WA 98103, 206.295.3026  
MEP / FP Engineer: EPSTEIN, 600 W. Fulton Street, Chicago, IL 60661-1259, 312.454.9100  
Structural Engineer: EPSTEIN, 600 W. Fulton Street, Chicago, IL 60661-1259, 312.454.9100  
Civil Engineer: COUGHLIN PORTER LUNDEEN, 801 Second Avenue, Seattle, WA 98104, 206.343.0460  
Architect: EPSTEIN, 600 W. Fulton Street, Chicago, IL 60661-1259, 312.454.9100  
Owner: CAVATINA GW SP. Z O.O., ul. Wielicka 28 B, 30-552 Kraków, Poland  
Project: 2ND & CLAY, 2729 2ND AVENUE, Seattle, WA 98121-1207



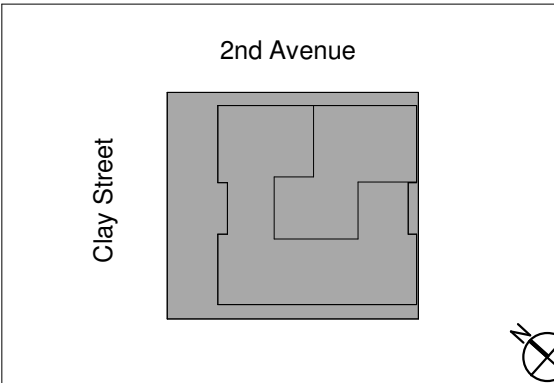
ARCHITECTURAL SITE PLAN

A-010





1 LEVEL B1  
SCALE: 1/4" = 1'-0"



NO.	DATE	REVISIONS/ISSUANCES
1	2024.06.17	MUP ISSUANCE



Architecture  
Interiors  
Engineering  
Construction

Chicago  
New York  
Warsaw

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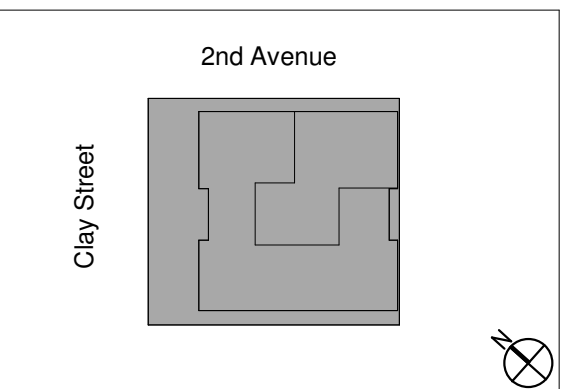
PROJECT NUMBER: 23208  
PROJECT MANAGER: T. RUSSELL  
PA / PE: S. CYGIELSKI  
DRAWN BY: A. KNIGHTON  
CHECKED BY: J. HEINEY

LEVEL B1 FLOOR PLAN

Landscape Designer	MEP / FP Engineer	Structural Engineer	Civil Engineer	Architect	Owner	Project
SITE WORKSHOP 3800 Woodland Park Avenue N Seattle, WA 98103 206.295.3026	EPSTEIN 600 W. Fulton Street Chicago, IL 60661-1259 312.454.9100	EPSTEIN 600 W. Fulton Street Chicago, IL 60661-1259 312.454.9100	COUGHLIN PORTER LUNDEEN 801 Second Avenue Seattle, WA 98104 206.343.0460	EPSTEIN 600 W. Fulton Street Chicago, IL 60661-1259 312.454.9100	CAVATINA GW SP, Z O.O. ul. Walsztaka 28 B 30-552 Kraków, Poland	2ND & CLAY 2729 2nd Avenue Seattle, WA 98121-1207





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Warsaw

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Chicago, IL 60661-1259  
312.454.9100

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PROJECT NUMBER:	23208
PROJECT MANAGER:	T. RUSSELL
APPEAL:	S. CYGIELSKI
DRAWN BY:	A. KNIGHTON
CHECKED BY:	J. HEINEY

ICI APPROVAL \_\_\_\_\_

## LEVEL 1 FLOOR PLAN

A-110

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1 LEVEL 01  
SCALE: 1/4" = 1'-0"

**SITE WORKSHOP**  
3800 Woodland Park Avenue N  
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206.285.3026

EPSTEIN  
600 W Fulton Street  
Chicago, IL 60661-1251  
312.454.9100

EPSTEIN  
600 W Fulton Street  
Chicago, IL 60661-1259  
312.454.9100

COUGHLIN PORTER LUNDEEN  
801 Second Avenue  
Seattle, WA 98104  
206.343.0460

EPSTEIN  
600 W Fulton Street  
Chicago, IL 60661-1259  
312.454.9100

CAVATINA GW SP. Z O.O.  
ul. Wielicka 28 B  
30-552 Kraków, Poland

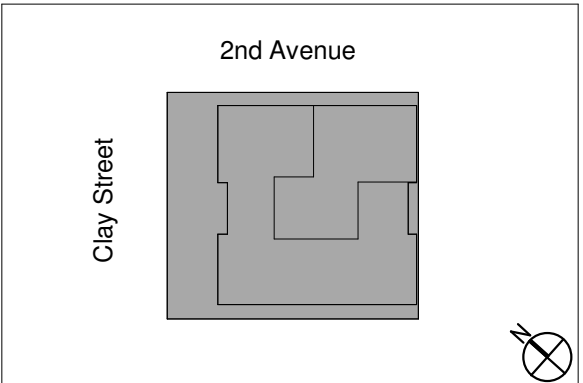
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SEAN

A-110



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PROJECT NUMBER:	23208
PROJECT MANAGER:	T. RUSSELL
PA \ PE:	S. CYGIELSKI
DRAWN BY:	A. KNIGHTON
CHECKED BY:	J. HEINEY

**SOCI APPROVAL**

## LEVEL 2 FLOOR PLAN

A-120

1 LEVEL 02  
SCALE: 1/4" = 1'-0"

*Landscape Designer*

**SITE WORKSHOP**  
3800 Woodland Park Avenue  
Seattle, WA 98103  
206.285.3026

*MEP / FP Engineer*

EPSTEIN  
600 W Fulton Street  
Chicago, IL 60661-12  
312.454.9100

*Structural Engineer*

EPSTEIN  
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Chicago, IL 60661-1257  
312.454.9100

Civil Engineer

COUGHLIN PORTER LUNDEEN  
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Seattle, WA 98104  
206.343.0460

Architect

EPSTEIN  
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Chicago, IL 60661-125  
312.454.9100

Owner

CAVATINA GW SP. Z O.O.  
ul. Wielicka 28 B  
30-552 Kraków, Poland

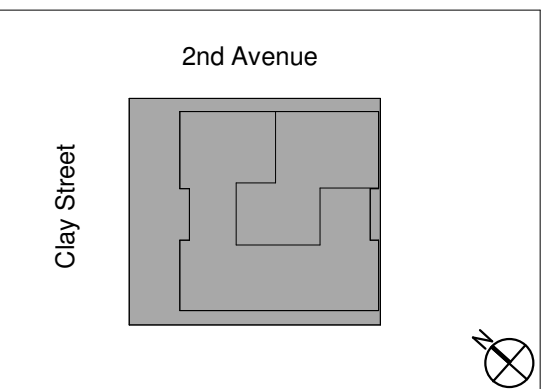
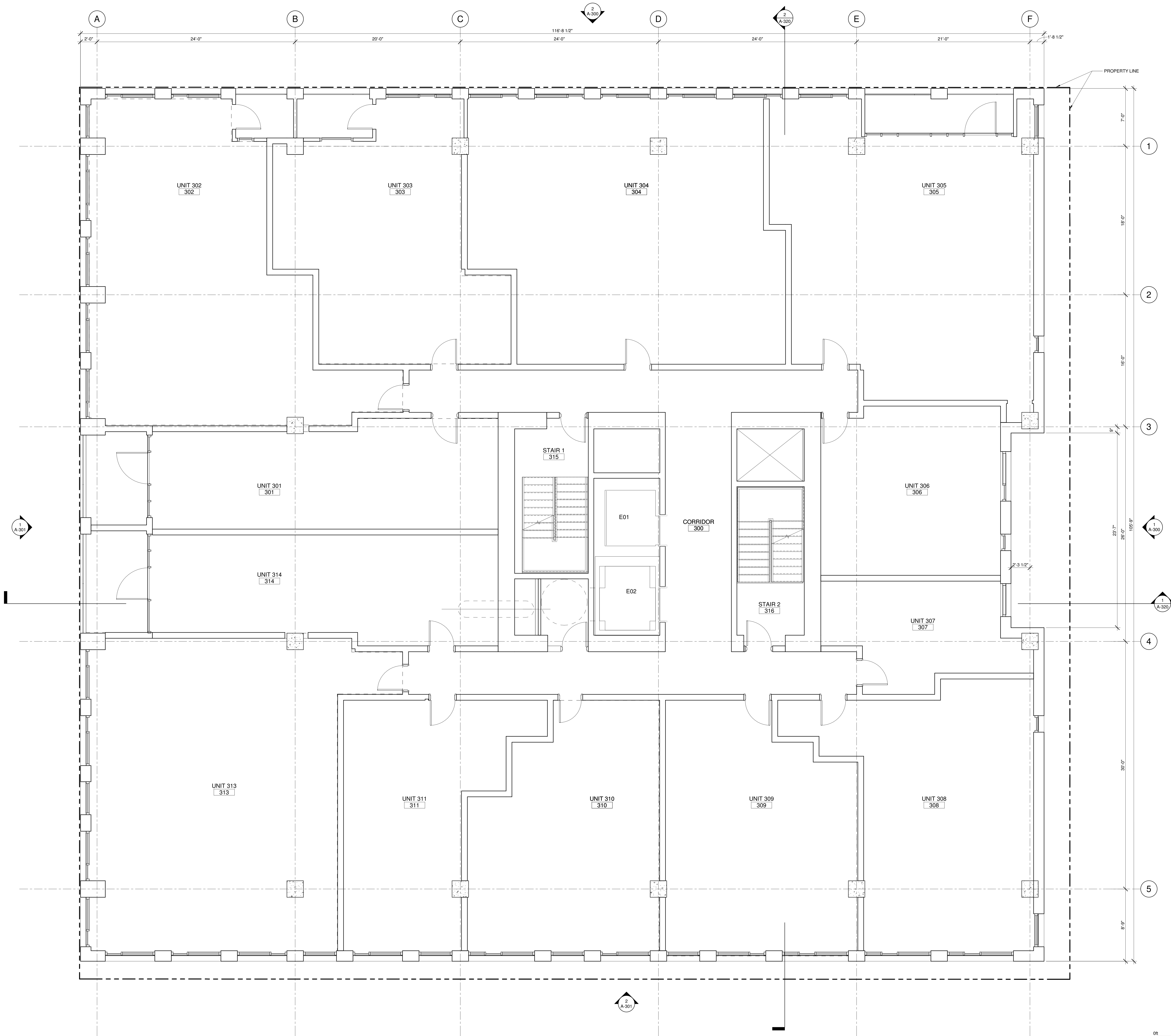
Project

2ND & CLAY  
2729 2nd Avenue  
Seattle, WA 98121-1207



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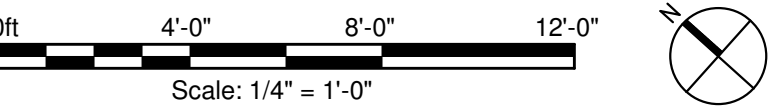


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PROJECT NUMBER: 23208  
PROJECT MANAGER: T. RUSSELL  
PA / PE: S. CYGIELSKI  
DRAWN BY: A. KNIGHTON  
CHECKED BY: J. HEINEY



1 LEVEL 03  
SCALE: 1/4" = 1'-0"

Landscape Designer

SITE WORKSHOP  
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Seattle, WA 98103  
206.295.3026

MEP / FP Engineer

EPSTEIN  
600 W. Fulton Street  
Chicago, IL 60661-1259  
312.454.9100

Structural Engineer

EPSTEIN  
600 W. Fulton Street  
Chicago, IL 60661-1259  
312.454.9100

Civil Engineer

COUGHLIN PORTER LUNDEEN  
600 W. Fulton Street  
Seattle, WA 98104  
206.343.0460

Architect

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Chicago, IL 60661-1259  
312.454.9100

Owner

CAVATINA GW SP. Z O.O.  
ul. Wladyslaw 28 B  
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Project

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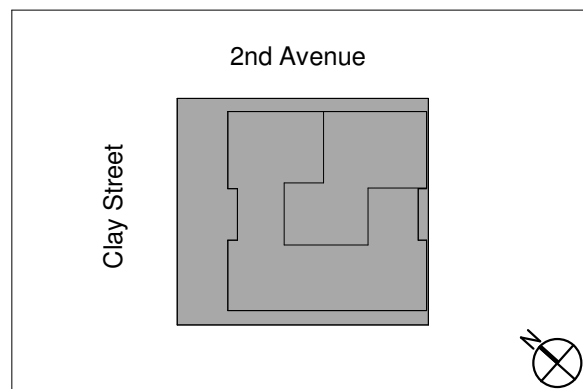
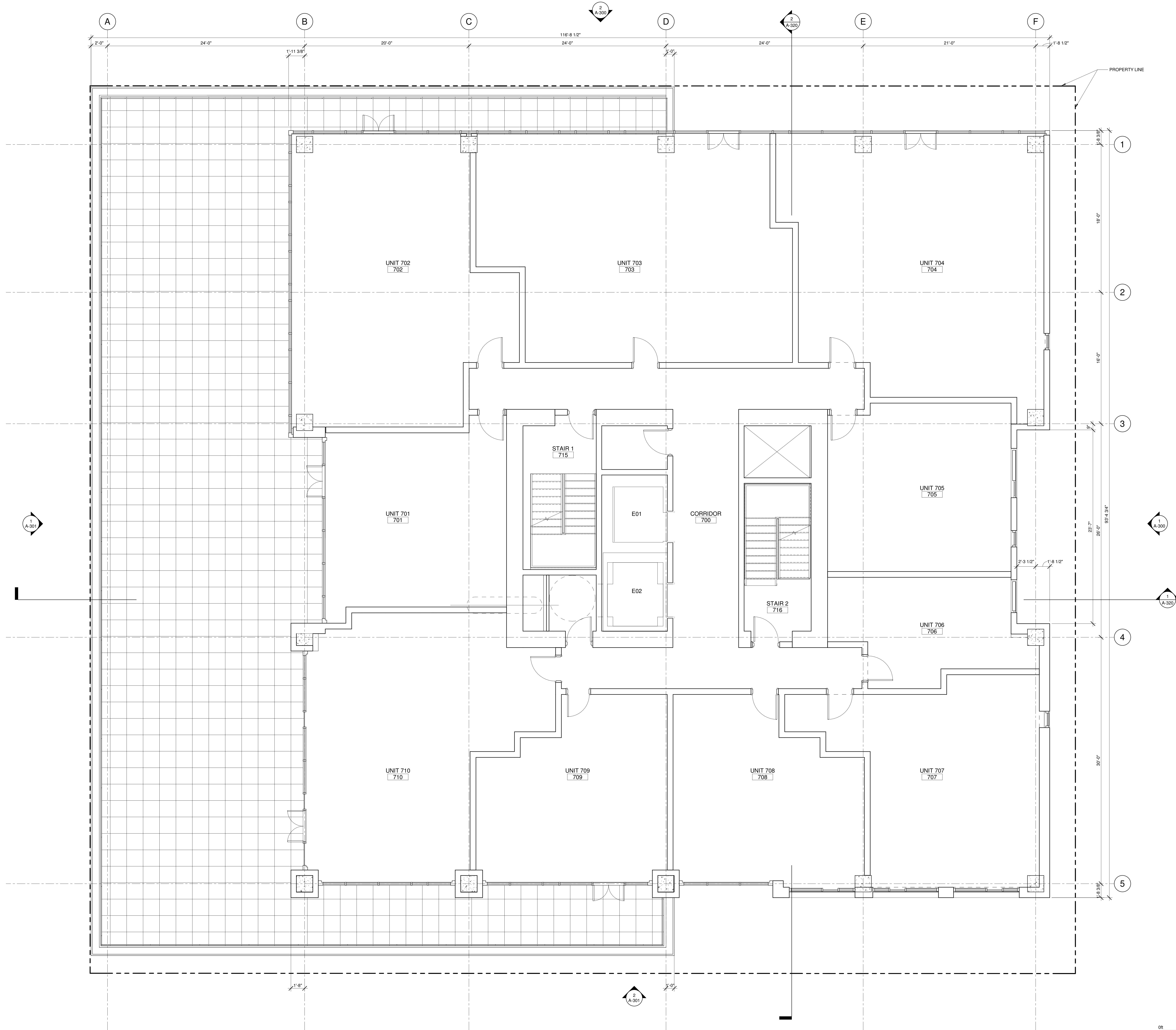
LEVEL 3-5 TYPICAL FLOOR PLAN

A-130









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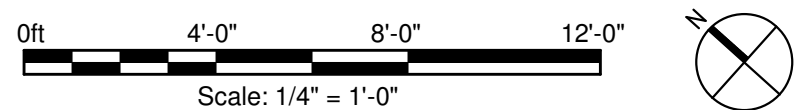


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PROJECT MANAGER: T. RUSSELL  
PA / PE: S. CYGIELSKI  
DRAWN BY: A. KNIGHTON  
CHECKED BY: J. HEINEY



1 LEVEL 07  
SCALE: 1/4" = 1'-0"

Landscape Designer

SITE WORKSHOP  
3800 Woodland Park Avenue N  
Seattle, WA 98103  
206.295.3026

MEP / FP Engineer

EPSTEIN  
600 W. Fulton Street  
Chicago, IL 60661-1259  
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Structural Engineer

EPSTEIN  
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Civil Engineer

COUGHLIN PORTER LUNDEEN  
801 Second Avenue  
Seattle, WA 98104  
206.343.0460

Architect

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Chicago, IL 60661-1259  
312.454.9100

Owner

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ul. Wladyslaw 28 B  
30-552 Kraków, Poland

Project

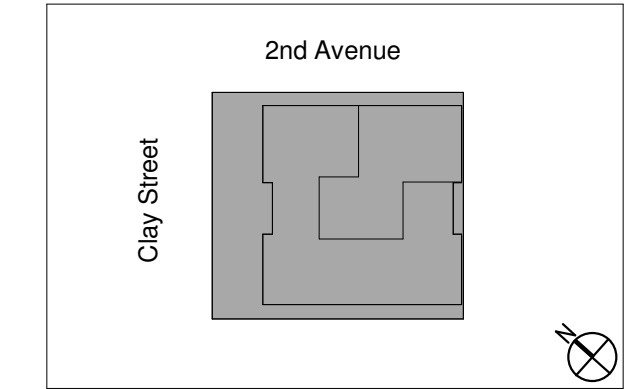
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LEVEL 7 FLOOR PLAN

A-170



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PROJECT NUMBER:	23208
PROJECT MANAGER:	T. RUSSELL
PA \ PE:	S. CYGIELSKI
DRAWN BY:	A. KNIGHTON
CHECKED BY:	J. HEINEY

SOCI APPROVAL

LEVEL 8-14 TYPICAL  
FLOOR PLAN

# A-180

**1 LEVEL 08**  
SCALE: 1/4" = 1'-0"

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206.285.3026

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312.454.9100

EPSTEIN  
600 W Fulton Street  
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Seattle, WA 98104  
206.343.0460

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312.454.9100

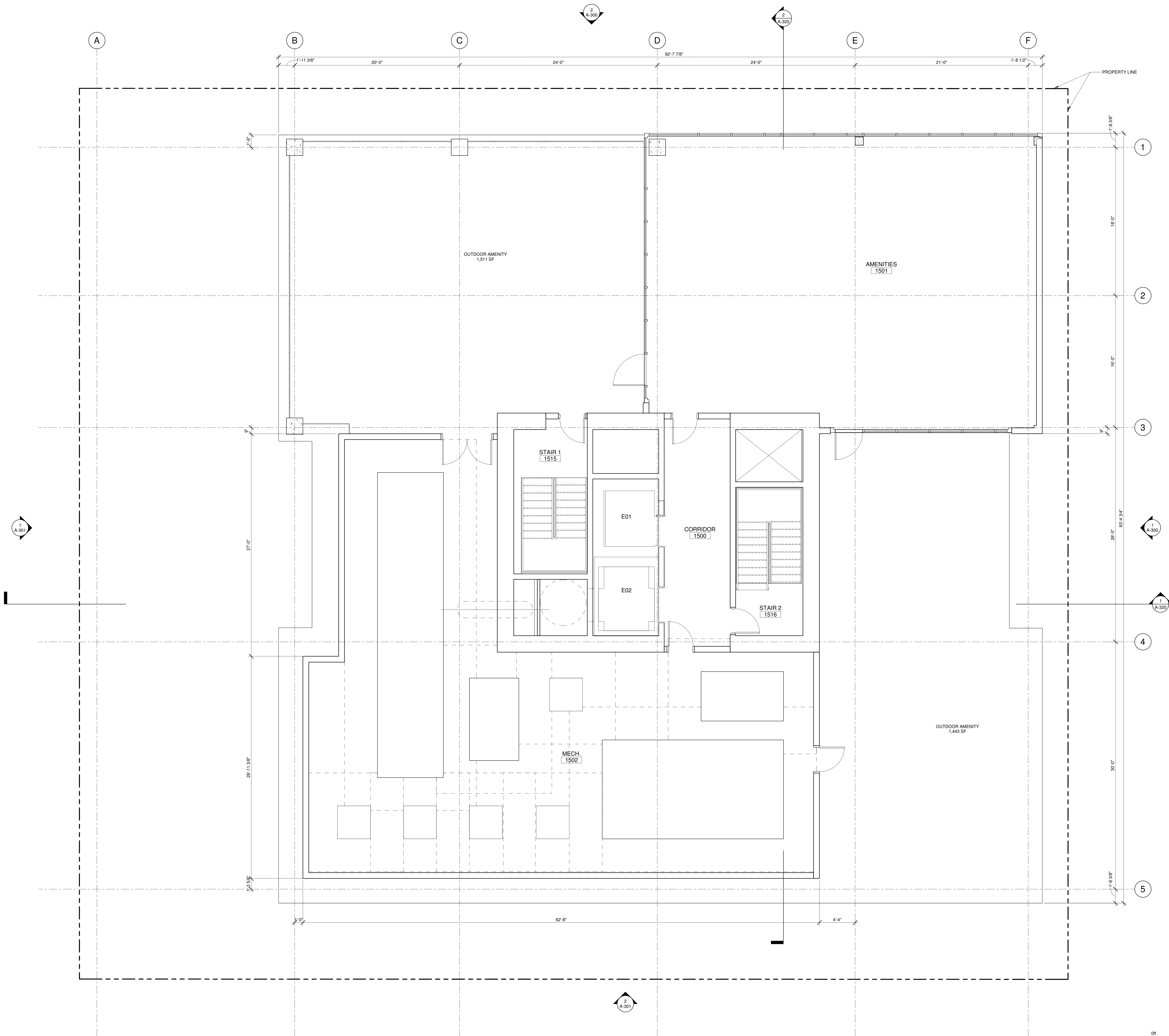
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ul. Wielicka 28 B  
30-552 Kraków, Poland

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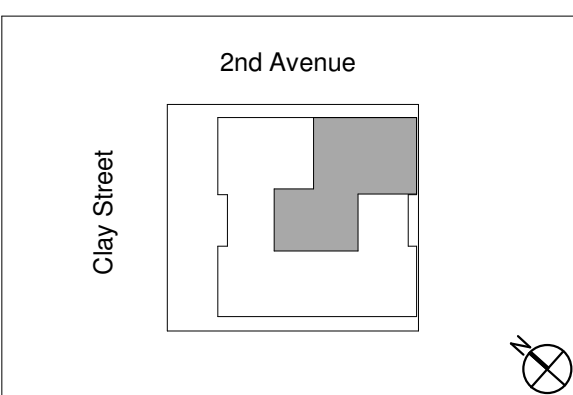
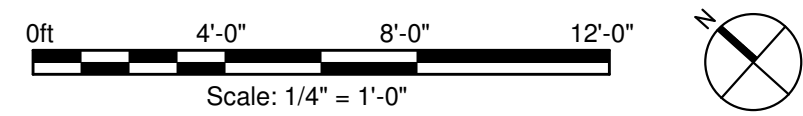


SEA





1 LEVEL 15  
SCALE: 1/4" = 1'-0"



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PA / PE: S. CYGIELSKI  
DRAWN BY: A. KNIGHTON  
CHECKED BY: J. HEINEY

SDCI APPROVAL

ROOFTOP AMENITY  
FLOOR PLAN

A-190

Landscape Designer

SITE WORKSHOP  
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Seattle, WA 98103  
206.295.3026

MEP / FP Engineer

EPSTEIN  
600 W. Fulton Street  
Chicago, IL 60661-1259  
312.454.9100

Structural Engineer

EPSTEIN  
600 W. Fulton Street  
Chicago, IL 60661-1259  
312.454.9100

Civil Engineer

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801 Second Avenue  
Seattle, WA 98104  
206.343.0460

Architect

EPSTEIN  
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312.454.9100

Owner

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ul. Walskiego 28 B  
30-552 Kraków, Poland

Project

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2729 2nd Avenue  
Seattle, WA 98121-1207



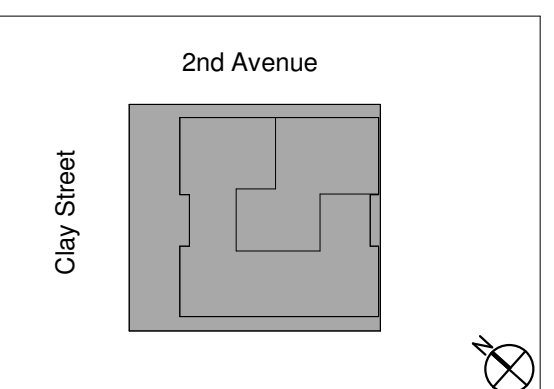
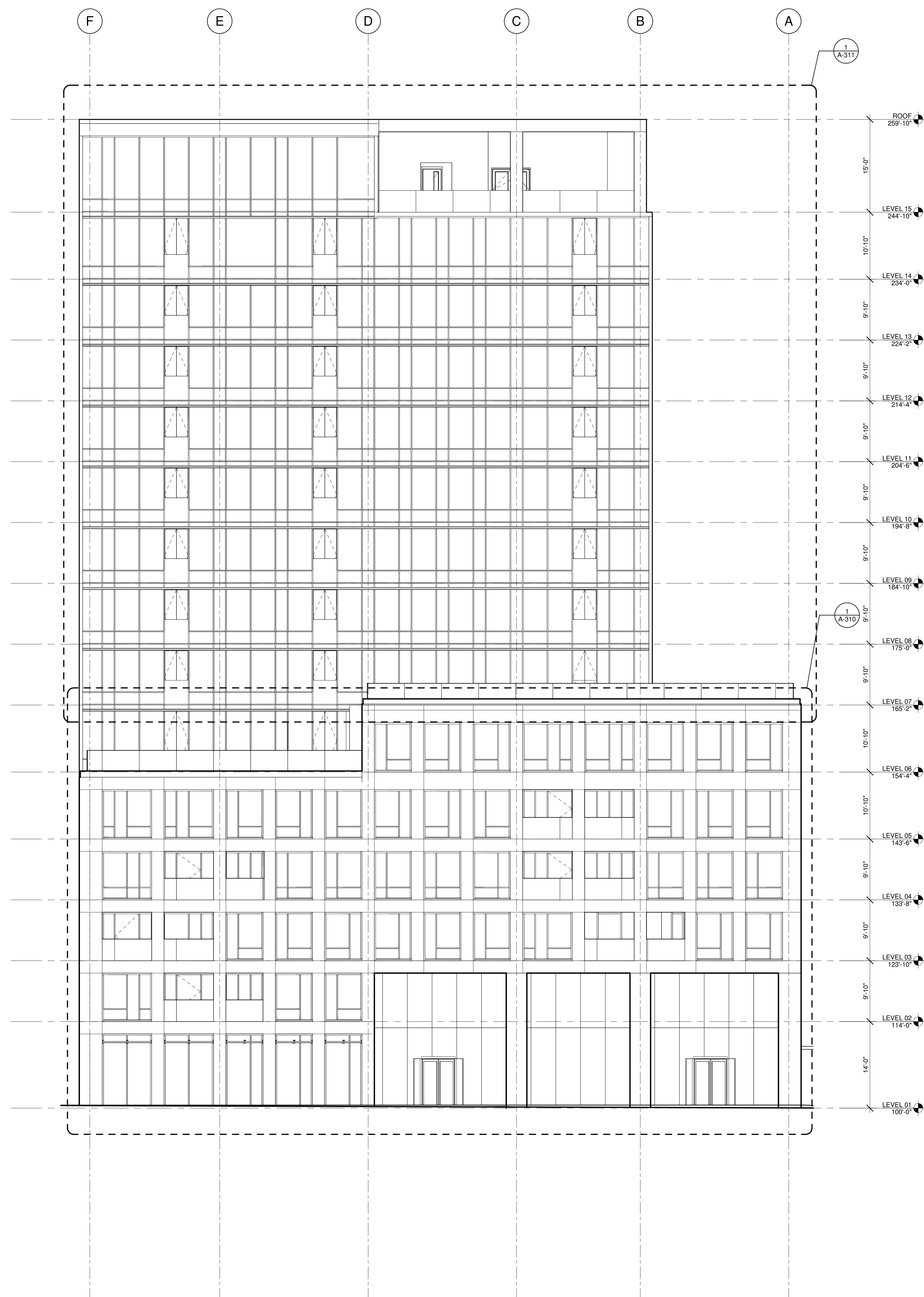
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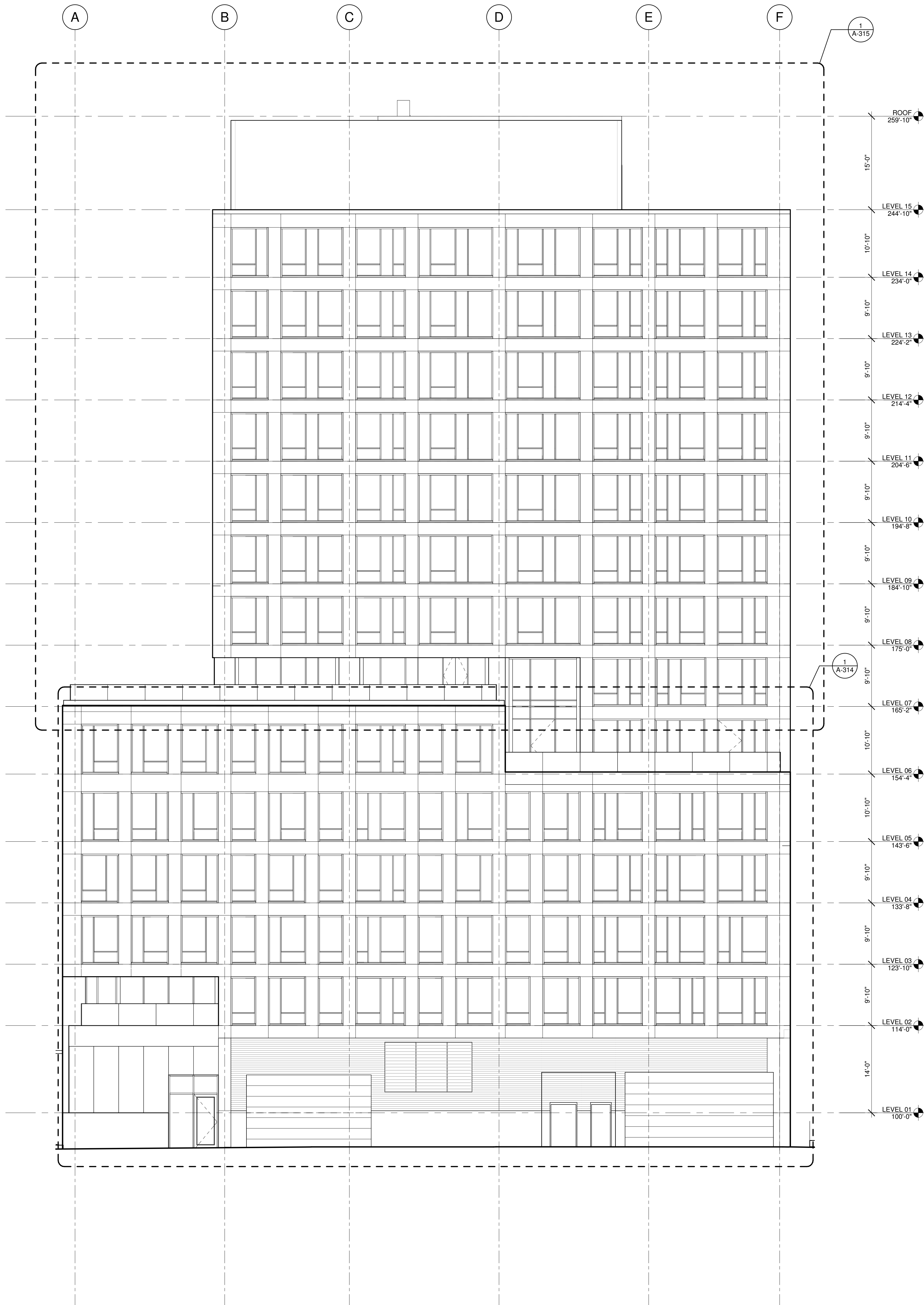
[www.spsteinglobal.com](http://www.spsteinglobal.com)

OBJECT NUMBER:	23208
OBJECT MANAGER:	T. RUSSELL
PIPE:	S. CYGIELSKI
AWN BY:	A. KNIGHTON
CHECKED BY:	J. HEINEY

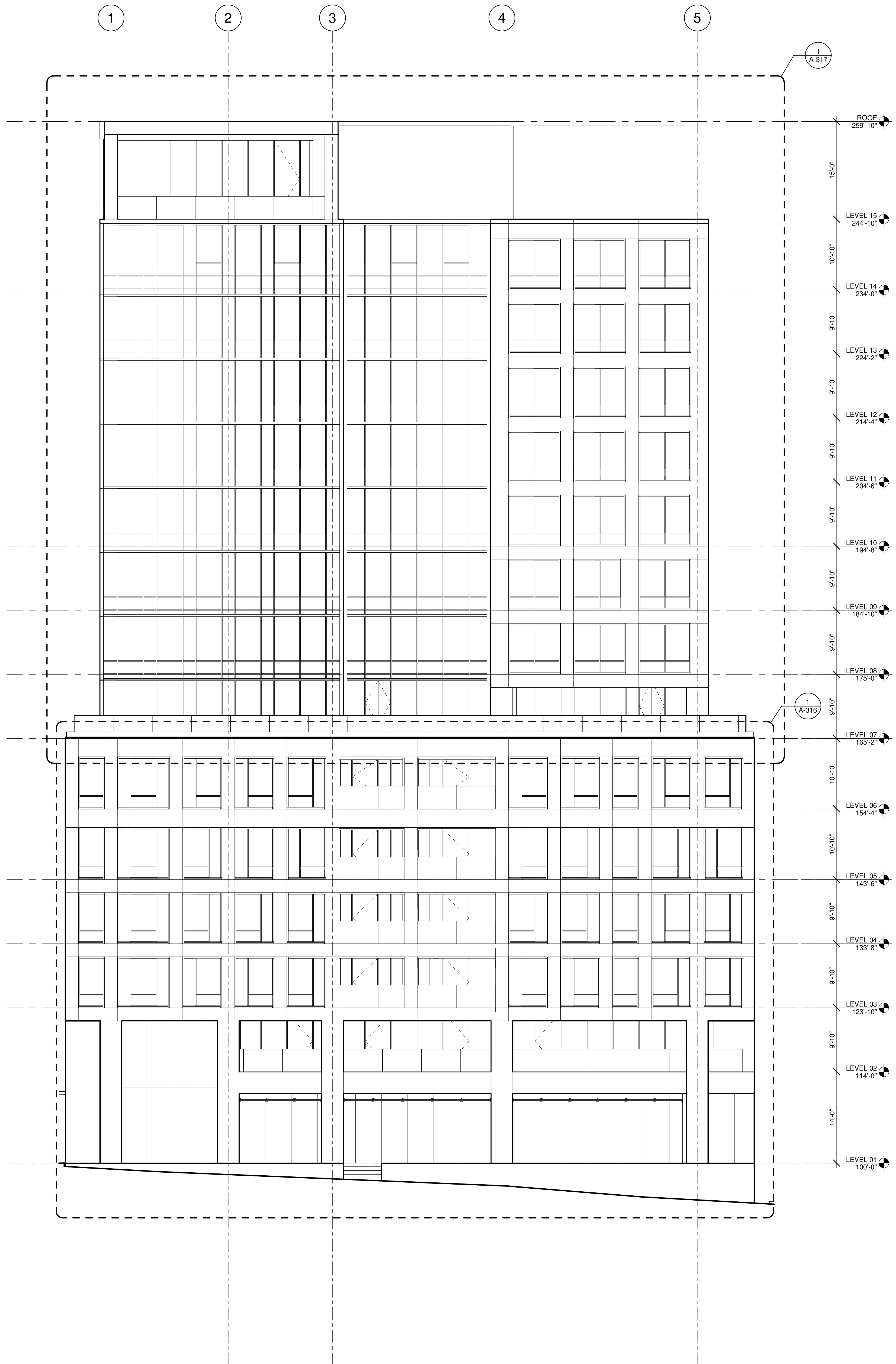
SDCI APPROVAL

# A-300

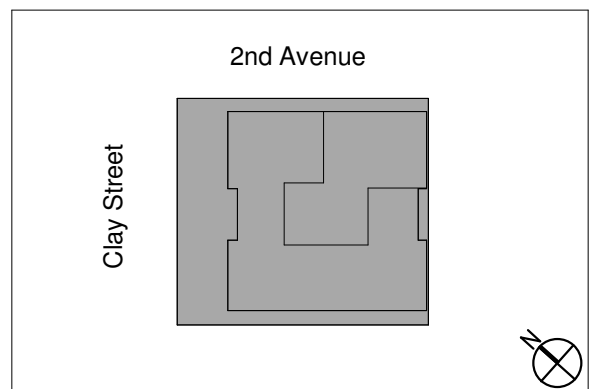
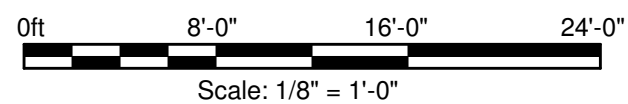




2 SOUTH ELEVATION  
SCALE: 1/8" = 1'-0"



1 WEST ELEVATION  
SCALE: 1/8" = 1'-0"



NO.	DATE	REVISIONS/ISSUANCE
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New York  
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PROJECT NUMBER: 23208  
PROJECT MANAGER: T. RUSSELL  
PA / PE: S. CYGIELSKI  
DRAWN BY: A. KNIGHTON  
CHECKED BY: J. HEINEY

SDCI APPROVAL

BUILDING ELEVATIONS

A-301

Landscape Designer

SITE WORKSHOP  
3800 Woodland Park Avenue N  
Seattle, WA 98103  
206.295.3026

MEP / FP Engineer

EPSTEIN  
600 W. Fulton Street  
Chicago, IL 60661-1259  
312.454.9100

Structural Engineer

EPSTEIN  
600 W. Fulton Street  
Chicago, IL 60661-1259  
312.454.9100

Civil Engineer

COUGHLIN PORTER LUNDEEN  
801 Second Avenue  
Seattle, WA 98104  
206.343.0460

Architect

EPSTEIN  
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Chicago, IL 60661-1259  
312.454.9100

Owner

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ul. Walickiego 28 B  
30-552 Kraków, Poland

Project

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Seattle, WA 98121-1207



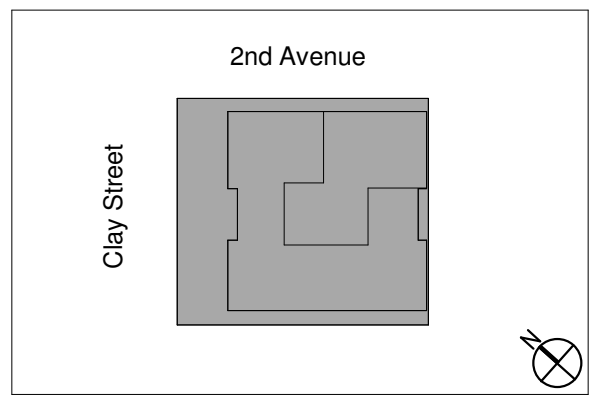
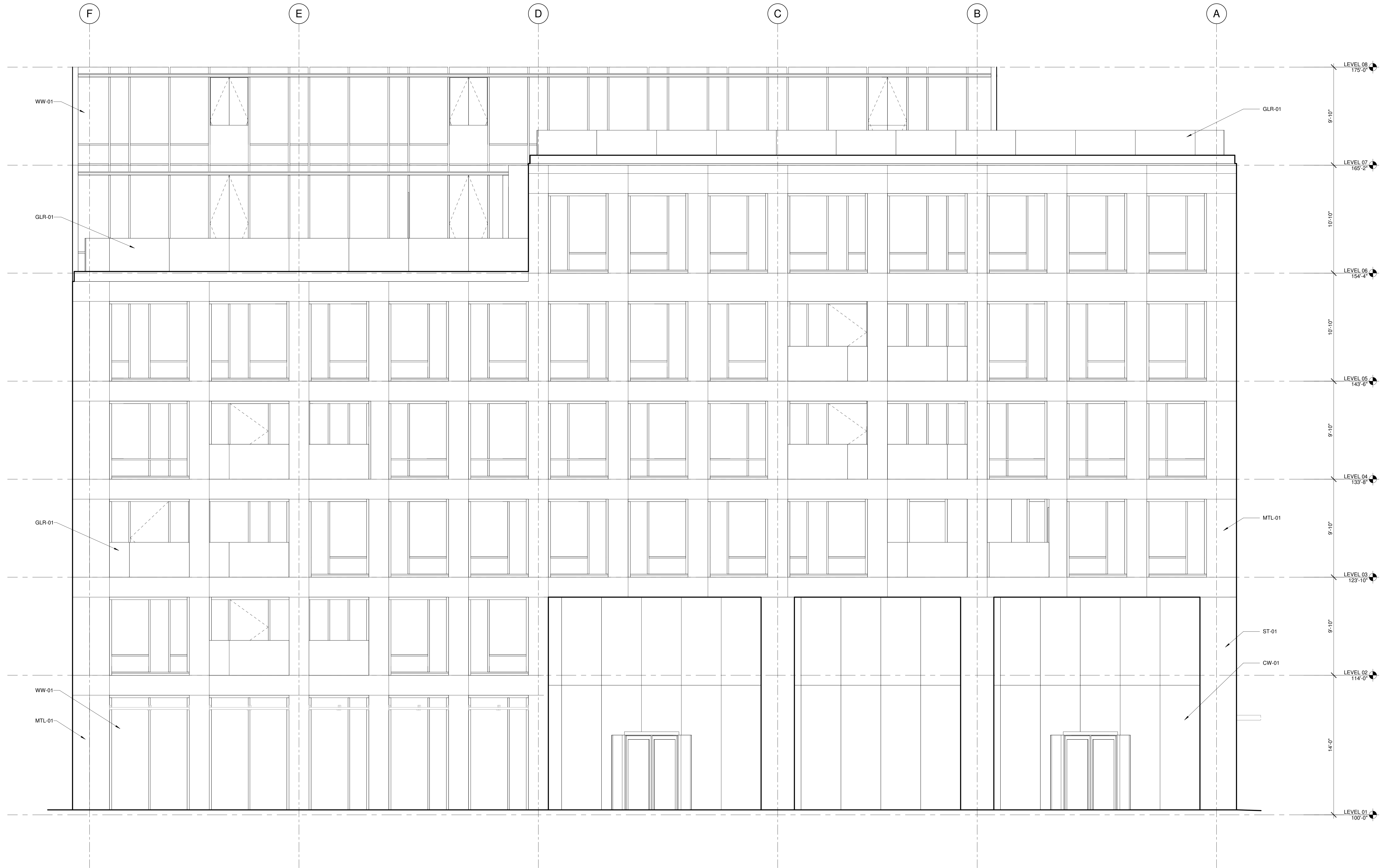
SEAL







KEYNOTES	
CW-01	CURTAIN WALL
GLR-01	GLASS RAILING
MTL-01	METAL PANEL-BRONZE
ST-01	STONE VENEER
WW-01	WINDOW WALL



NO.	DATE	REVISIONS	ISSUANCES
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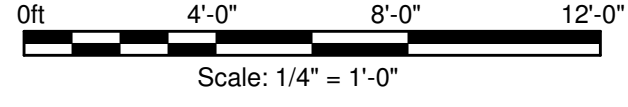


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Construction

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Warsaw

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PROJECT NUMBER:	23208
PROJECT MANAGER:	T. RUSSELL
PA / PE:	S. CYGIELSKI
DRAWN BY:	A. KNIGHTON
CHECKED BY:	J. HEINEY



1 NORTH ELEVATION - PODIUM  
SCALE: 1/4" = 1'-0"

Landscape Designer

SITE WORKSHOP  
3800 Woodland Park Avenue N  
Seattle, WA 98103  
206.295.3026

MEP / FP Engineer

EPSTEIN  
600 W. Fulton Street  
Chicago, IL 60661-1259  
312.454.9100

Structural Engineer

EPSTEIN  
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Civil Engineer

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Architect

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312.454.9100

Owner

CAVATINA GW SP. Z O.O.  
ul. Wladyslaw 28 B  
30-552 Kraków, Poland

Project

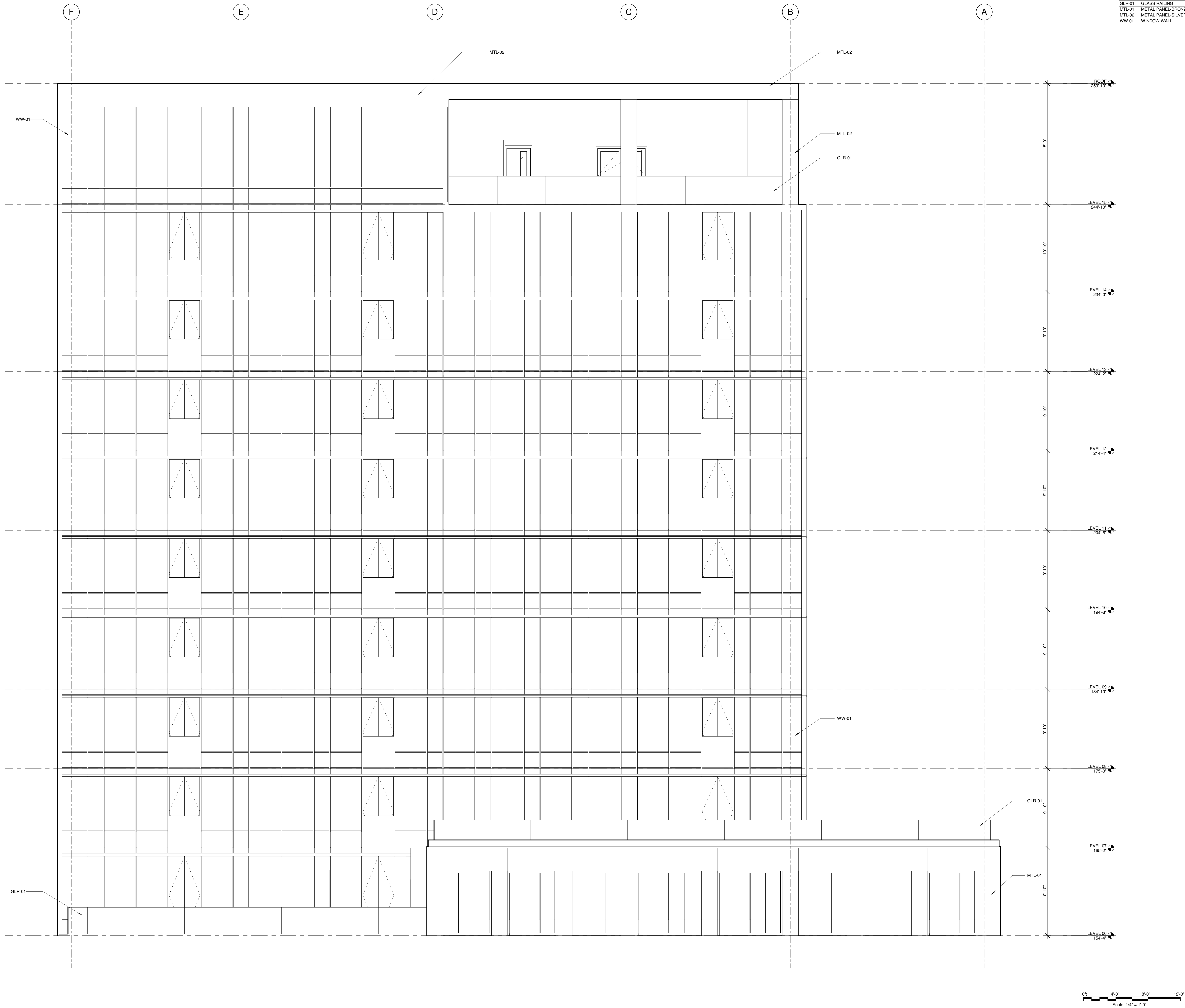
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ENLARGED BUILDING  
ELEVATIONS

A-310





1 NORTH ELEVATION - TOWER  
SCALE: 1/4" = 1'-0"

Landscape Designer

SITE WORKSHOP  
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Seattle, WA 98103  
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MEP / FP Engineer

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Chicago, IL 60661-1259  
312.454.9100

Structural Engineer

EPSTEIN  
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Civil Engineer

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Architect

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Owner

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ul. Wladyslaw 28 B  
30-552 Kraków, Poland

Project

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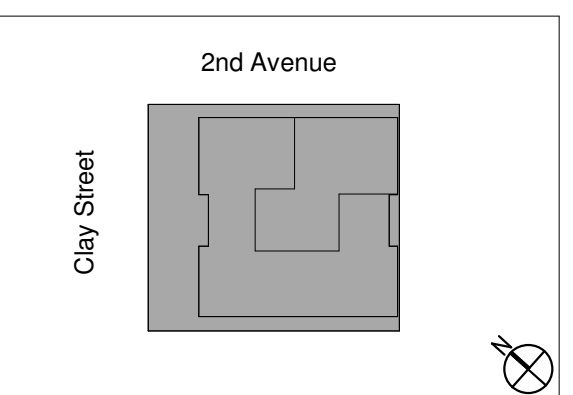
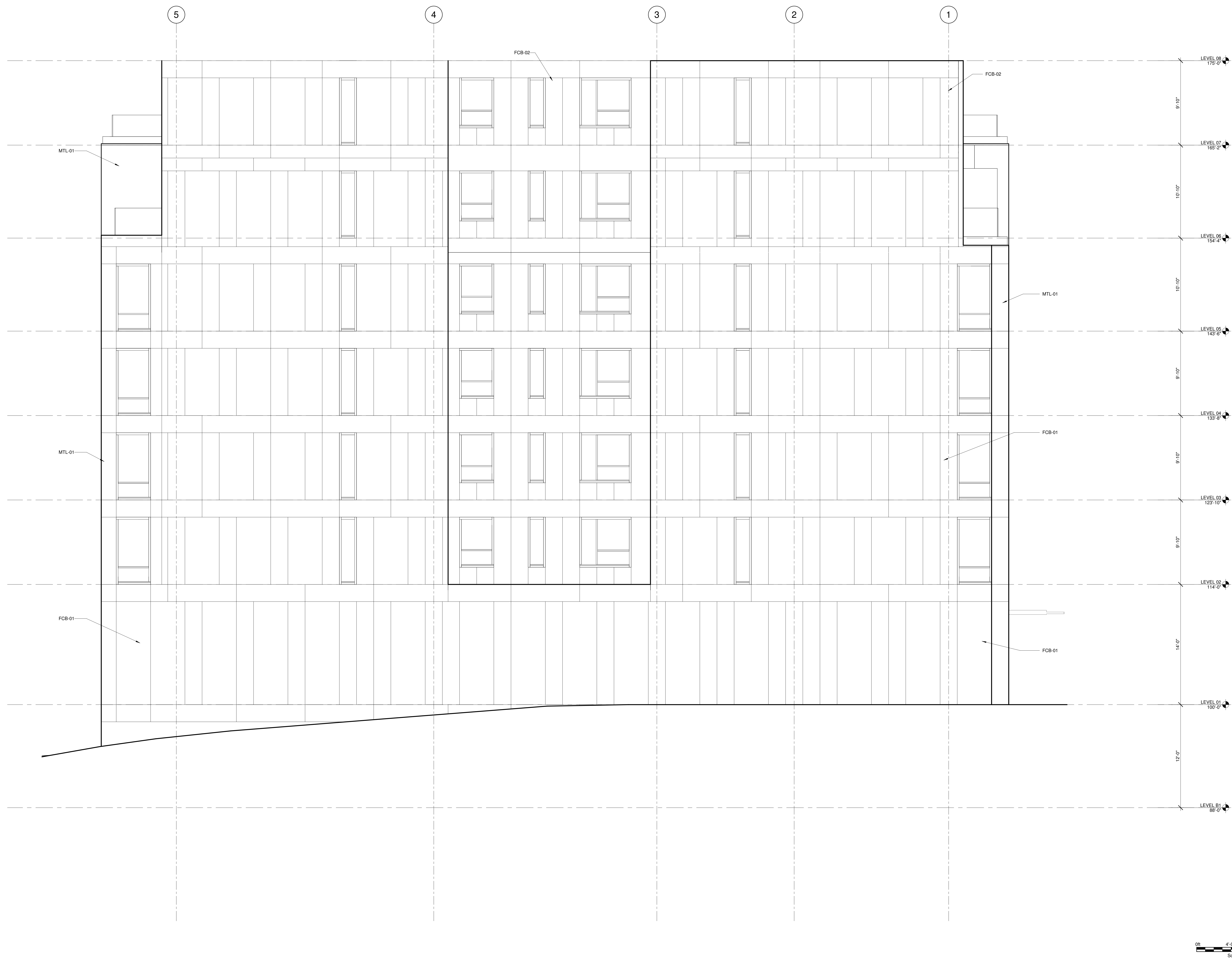


ENLARGED BUILDING  
ELEVATIONS

A-311



KEYNOTES	
FCB-01	FIBER CEMENT BOARD BRONZE
FCB-02	FIBER CEMENT BOARD SILVER
MTL-01	METAL PANEL-BRONZE

[illegible]

Architecture  
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Engineering  
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Chicago  
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Warsaw

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PROJECT NUMBER:	23208
PROJECT MANAGER:	T. RUSSELL
APPE:	S. CYGIELSKI
DRAWN BY:	A. KNIGHTON
CHECKED BY:	J. HEINEY

1 EAST ELEVATION - PODIUM  
SCALE: 1/4" = 1'-0"

*Landscape Designer*

**SITE WORKSHOP**  
3800 Woodland Park Avenue N  
Seattle, WA 98103  
206.285.3026

*MEP / FP Engineer*

EPSTEIN  
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312.454.9100

Structural Engineer

EPSTEIN  
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Civil Engineer

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206.343.0460

Architect

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312.454.9100

Owner

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ul. Wielicka 28 B  
30-552 Kraków, Poland

Project

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Seattle, WA 98121-1207

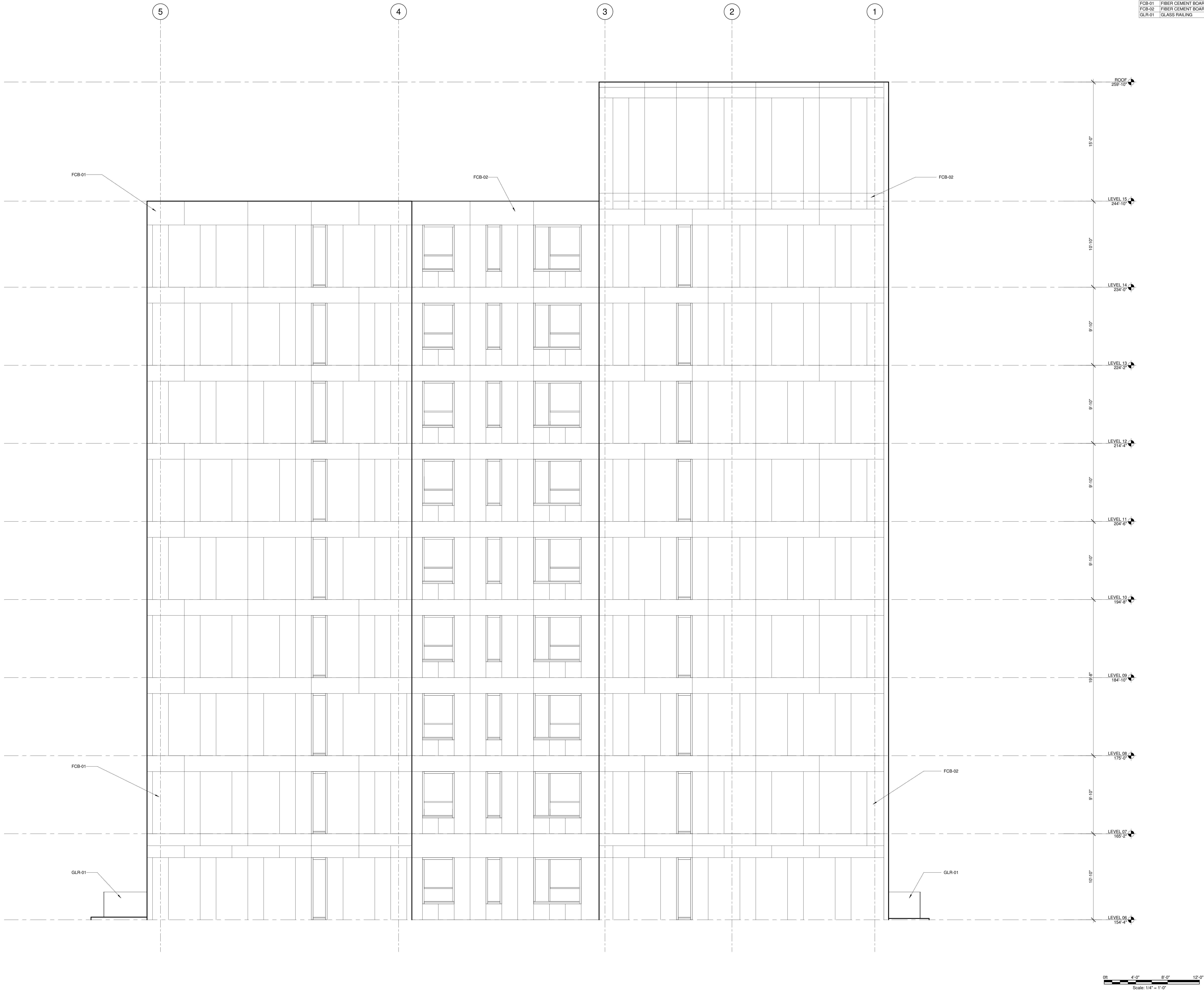


## ENLARGED BUILDING ELEVATIONS

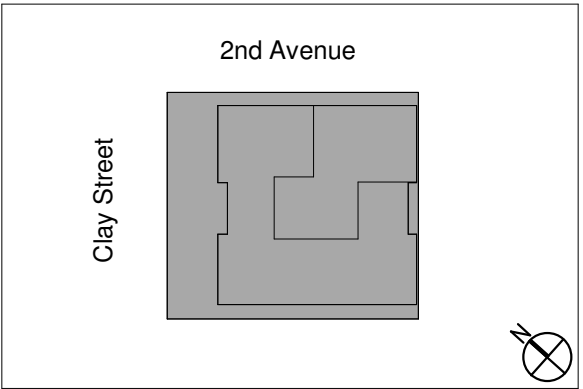
A-312

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KEYNOTES	
FCB-01	FIBER CEMENT BOARD BRONZE
FCB-02	FIBER CEMENT BOARD SILVER
GLR-01	GLASS RAILING



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PROJECT NUMBER:	23208
PROJECT MANAGER:	T. RUSSELL
PA / PE:	S. CYGIELSKI
DRAWN BY:	A. KNIGHTON
CHECKED BY:	J. HEINEY

1 EAST ELEVATION - TOWER  
SCALE: 1/4" = 1'-0"

<b>Landscape Designer</b> SITE WORKSHOP 3800 Woodland Park Avenue N Seattle, WA 98103 206.295.3026	<b>MEP / FP Engineer</b> EPSTEIN 600 W. Fulton Street Chicago, IL 60661-1259 312.454.9100	<b>Structural Engineer</b> EPSTEIN 600 W. Fulton Street Chicago, IL 60661-1259 312.454.9100	<b>Civil Engineer</b> COUGHLIN PORTER LUNDEEN 801 Second Avenue Seattle, WA 98104 206.343.0460	<b>Architect</b> EPSTEIN 600 W. Fulton Street Chicago, IL 60661-1259 312.454.9100	<b>Owner</b> CAVATINA GW SP. Z O.O. ul. Wladyska 28 B 30-552 Kraków, Poland	<b>Project</b> 2ND & CLAY 2729 2nd Avenue Seattle, WA 98121-1207
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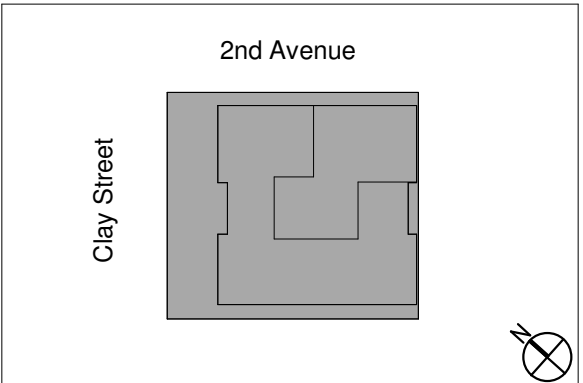
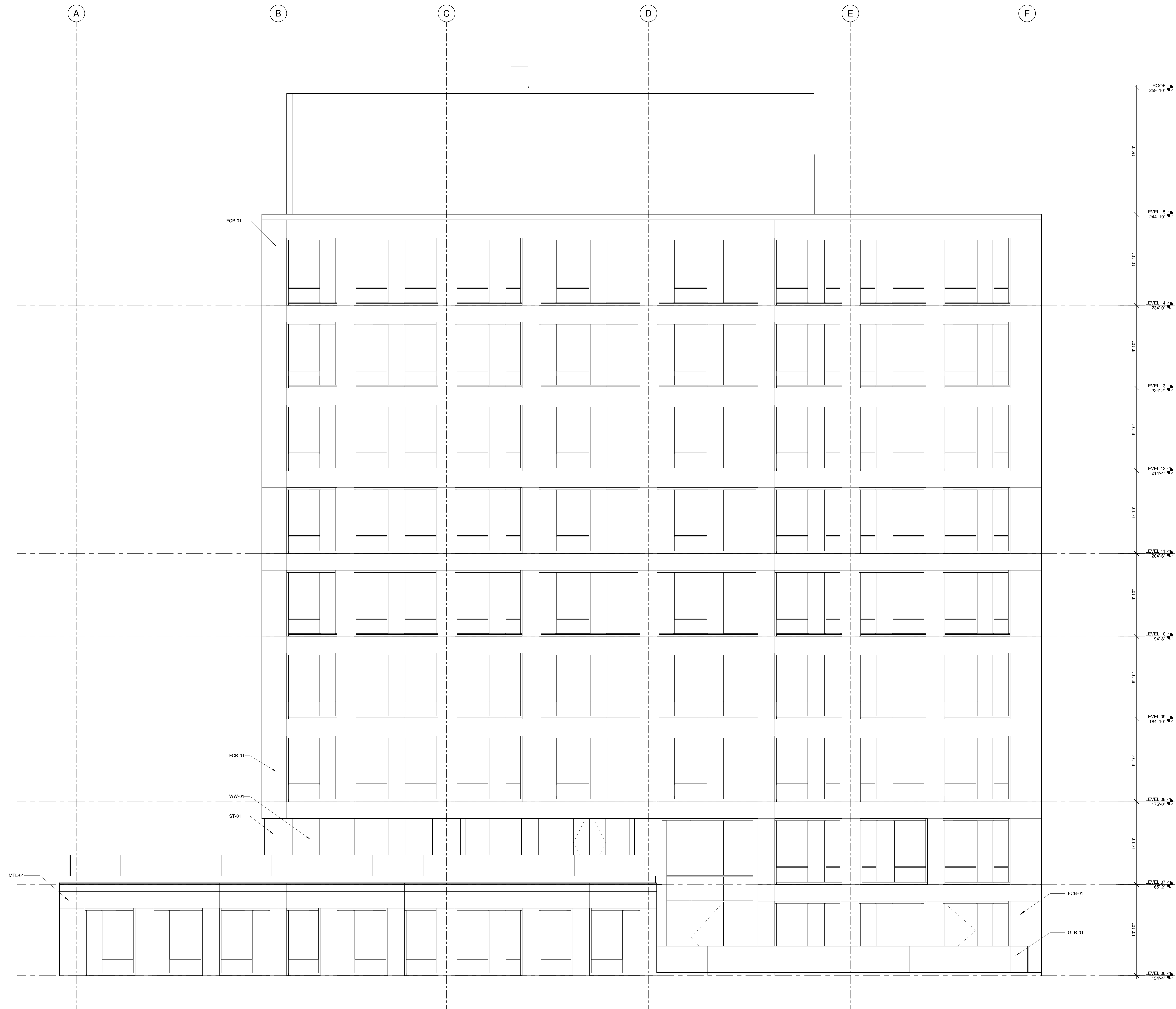
ENLARGED BUILDING  
ELEVATIONS







KEYNOTES	
FCB-01	FIBER CEMENT BOARD BRONZE
GLR-01	GLASS RAILING
MTL-01	METAL PANEL-BRONZE
ST-01	STONE VENEER
WW-01	WINDOW WALL

[illegible]

1	2024.06.17	MUP ISSUANCE
NO.	DATE	REVISIONS/ISSUANCES



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Warsaw

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PROJECT NUMBER:	23208
PROJECT MANAGER:	T. RUSSELL
PA \ PE:	S. CYGIELSKI
DRAWN BY:	A. KNIGHTON
CHECKED BY:	J. HEINEY

**SOCI APPROVAL**

## ENLARGED BUILDING ELEVATIONS

A-315

1 SOUTH ELEVATION - TOWER  
SCALE: 1/4" = 1'-0"

*Landscape Designer*

**SITE WORKSHOP**  
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*MEP / FP Engineer*

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Project

2ND & CLAY  
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Seattle, WA 98121-1207



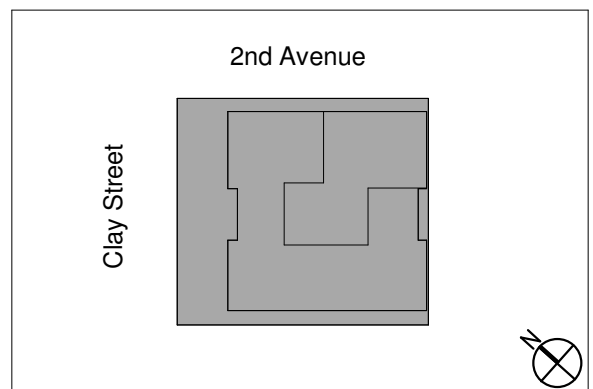
SEAL



KEYNOTES	
CW-01	CURTAIN WALL
GLR-01	GLASS RAILING
MTL-01	METAL PANEL-BRONZE
MTL-02	METAL PANEL-SILVER
ST-01	STONE VENEER
WW-01	WINDOW WALL



1 WEST ELEVATION - PODIUM  
SCALE: 1/4" = 1'-0"



NO.	DATE	REVISIONS
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PROJECT MANAGER:	T. RUSSELL
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CHECKED BY:	J. HEINEY

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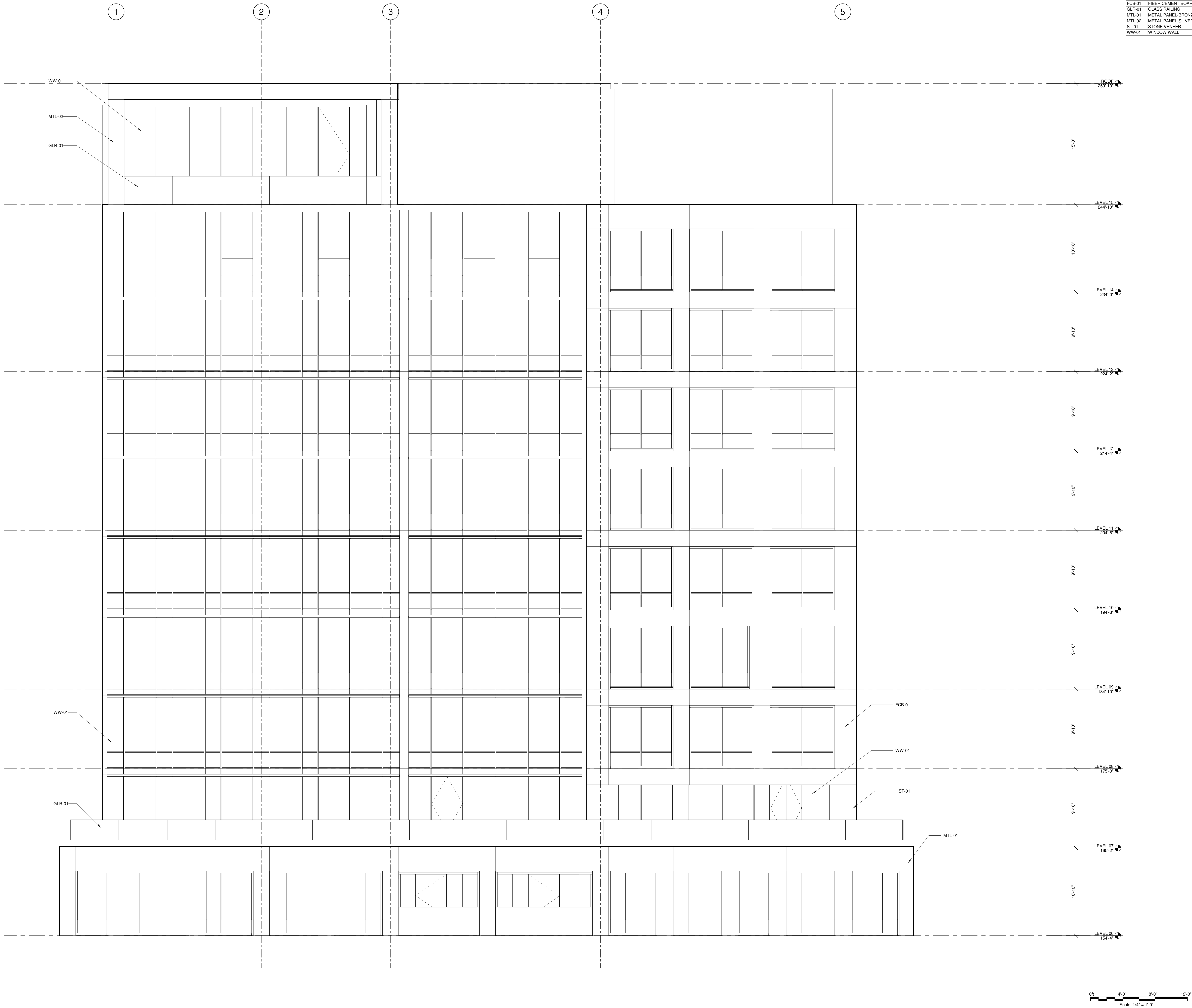
2ND & CLAY  
2729 2ND Avenue  
Seattle, WA 98121-1207



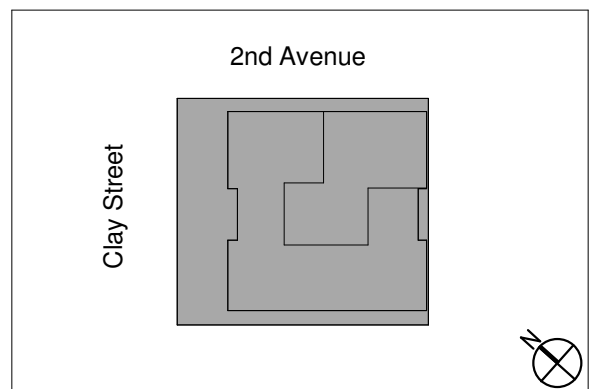
ENLARGED BUILDING  
ELEVATIONS

A-316





KEYNOTES	
FCB-01	FIBER CEMENT BOARD BRONZE
GLR-01	GLASS RAILING
MTL-01	METAL PANEL-BRONZE
MTL-02	METAL PANEL-SILVER
ST-01	STONE VENEER
WW-01	WINDOW WALL



NO.	DATE	REVISIONS/ISSUANCES
1	2024.06.17	MUP ISSUANCE

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PROJECT NUMBER: 23208  
PROJECT MANAGER: T. RUSSELL  
PA / PE: S. CYGIELSKI  
DRAWN BY: A. KNIGHTON  
CHECKED BY: J. HEINEY

## 1 WEST ELEVATION - TOWER

SCALE: 1/4" = 1'-0"

### Landscape Designer

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### Project

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Seattle, WA 98121-1207

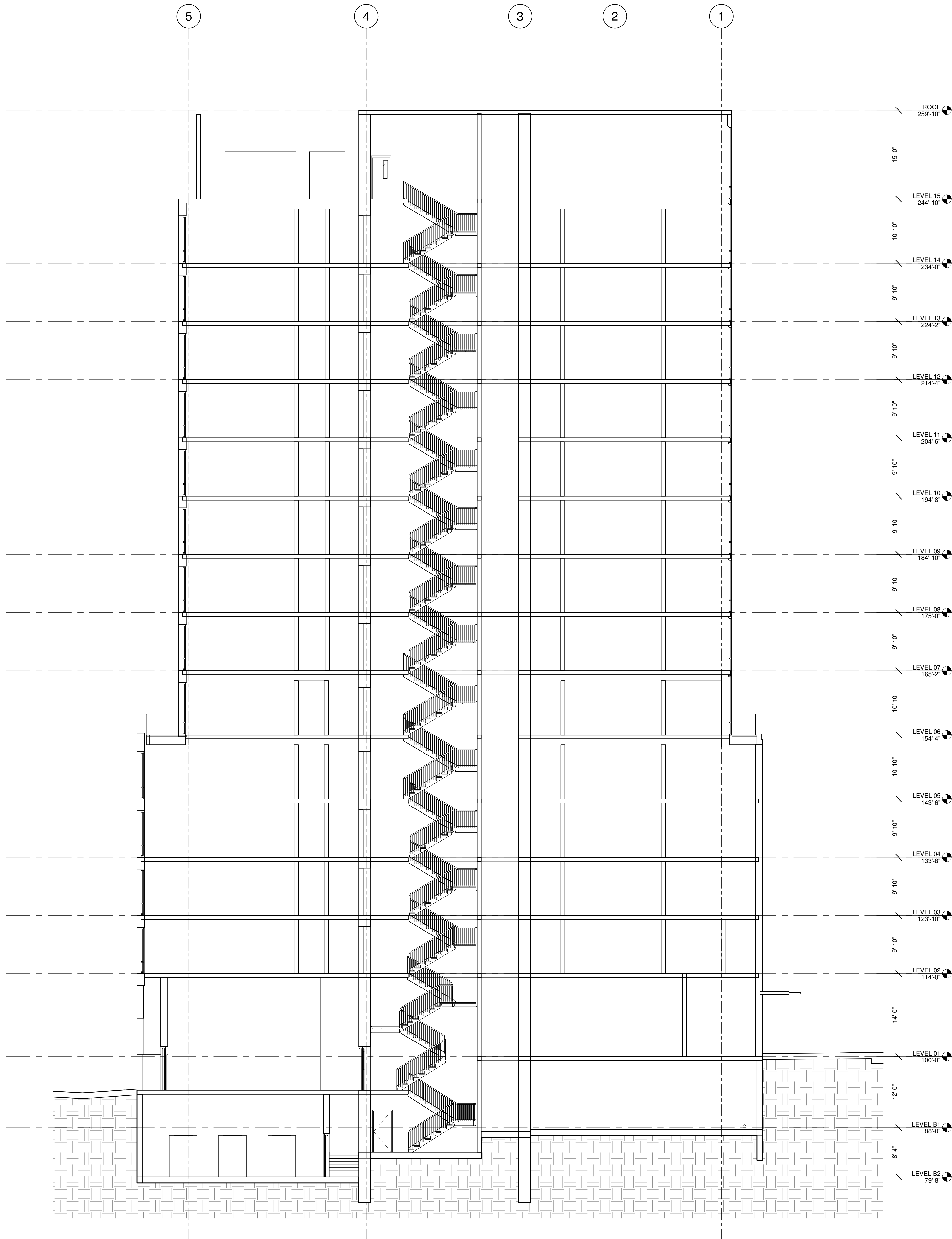
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### ENLARGED BUILDING ELEVATIONS

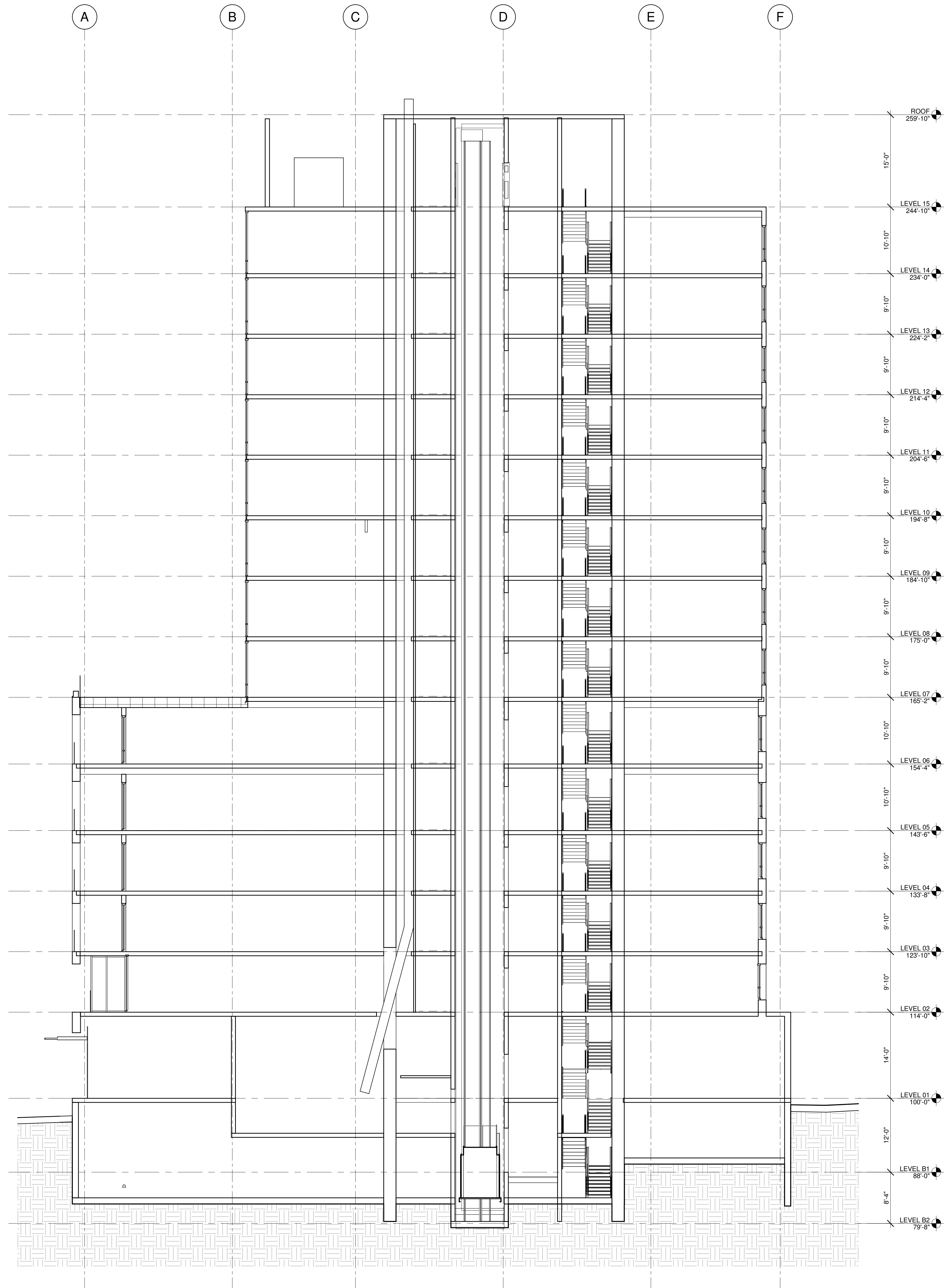
A-317

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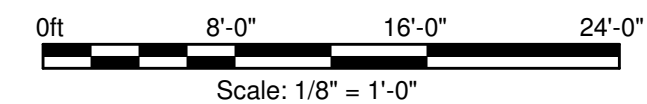




2 OVERALL SECTION WEST  
SCALE: 1/8" = 1'-0"



1 OVERALL SECTION NORTH  
SCALE: 1/8" = 1'-0"



Landscape Designer

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BUILDING SECTIONS

A-320





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Interiors  
Engineering  
Construction

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New York  
Warsaw

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PROJECT MANAGER:	T. RUSSELL
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DRAWN BY:	A. KNIGHTON
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**SOCI APPROVAL**

## ENLARGED BUILDING SECTIONS

# A-330

## 1 DRIVEWAY SECTION



SEMI